

# Approval



THE CITY OF SAN DIEGO  
Development Services Department  
1222 First Avenue, San Diego, CA 92101-4154

L64A-005

## Project Information

Project Nbr: **558700** Title: Stonebridge/Stonecroft Ret.  
Project Mgr: Casique, Jorge (619)446-5202 Jcasique@sandiego.gov

## Approval Information

Approval Nbr: **19 65797** Type: Building Permit Status: Issued  
Issued: 11/16/2017 2:31 pm Issued By: Delgado, Antonio Permit Holder: Blenkle, John  
Completed By: Owner Occupied:   
Extended By: Cancel Reason:  
Extension Qty: 0 Precancel Status:  
Scope: For the construction of new retaining wall. Land Doc Type:  
Recorded Map No.:  
Recorded Date:



## Job Location (13304 1/3 STONEBRIDGE PY)

Address 13304 1/3 STONEBRIDGE PY Assessor Parcel 320-030-5500

## Bureau of Census (BC) Codes

BC Code  
ACC STRUCT- NON RES

## Fee Type Units

Fee Type Amount  
Valuation -CBC 95,000.00

## Fee Worksheet

Fee	Quantity	Unit	Category
BuildgStand Surcharge SB1473	95,000.00	Valuation -CBC	Issuance Fees
Records-Com/MDU(Calcs&Std)	1.00	Each	Issuance Fees
Retaining Wall w/Calc >12' (I)	210.00	Linear Feet	Issuance Fees
Retaining Wall w/Calc >12' (P)	210.00	Linear Feet	Submittal Fees
Seismic Fee (Bldg Permit)	95,000.00	Valuation -CBC	Issuance Fees

# Inspection Plan



THE CITY OF SAN DIEGO  
Development Services Department  
1222 First Avenue, San Diego, CA 92101-4154

L64A-021

## Project Information

Project Nbr: **558700** Title: Stonebridge/Stonecroft Ret.  
Project Mgr: Casique, Jorge (619)446-5202 Jcasique@sandiego.gov



## Job Information

Job: 13304 1/3 STONEBRIDGE PY APN: 320-030-5500  
Street Address: 13304 1/3 STONEBRIDGE PY Thomas Brothers: 1210-E2  
Parcel Owner: STONEBRIDGE ESTATES MASTER ASSN

## Approval Information

Approval Nbr: **19 65797** Approval Status: Created Permit Holder:  
Approval Type: Building Permit Owner occupied:  Overridden:

Issue: By:

Cancel Reason: Extension Quantity: 0

Precancel Status: Closed: By:

Scope: For the construction of new retaining wall.

### Inspection Group: 2020922 Inspection Tier 1

### Inspection Group: 2020923 Inspection Tier 2

- 3290995 Structural - Foundation Unavailable
- 3290996 Structural - Pre Grout Unavailable
- 3290997 Structural - Wall Pre Backfill Unavailable
- 3290998 Structural - Prefinal (2) Unavailable

### Inspection Group: 2020924 Inspection Tier 3

- 3290994 Structural - Final(3) Unavailable

Issue Nbr	Created By	Visibility	Issue Description	Cleared By	Cleared Date	Note
260093	Zamani, Matt	Regular	Sheet 004 Special Inspection: Soils Cont			
260094	Zamani, Matt	Regular	Special Inspection: Soils Cont			
260095	Zamani, Matt	Regular	Block & Unit dimensions /Sheet 004			
260096	Zamani, Matt	Regular	Product identifications per ICC # ESR-3073.			
260097	Zamani, Matt	Regular	Foundation preparation.			
260098	Zamani, Matt	Regular	Verdura unit placements..			
260099	Zamani, Matt	Regular	Geogrid reinforcements...			
260101	Zamani, Matt	Regular	PVC pipe connections/Sheet 004..			
260102	Zamani, Matt	Regular	Drainage dimensions, locations...			

# Invoice

11/16/17 2:26 pm

Page 1 of 1



THE CITY OF SAN DIEGO  
Development Services Department  
1222 First Avenue, San Diego, CA 92101-4154

L64A-007

Invoice Number: 812587

Status: Paid  
Issued: 11/16/2017 2:16 pm Delgado, Antonio  
Voided:  
Customer:

Payment: On: 11/16/2017 2:25 pm  
Payment Method Document Number  
Check 93963

To: Wilkins, Jennifer  
Refundable Party  
NV5 Inc

Payment  
\$2225.60  
**\$2225.60**

Development: 351570 Devel Num 351570

Project: 558700 Stonebridge/Stonecroft Ret. PM: Casique, Jorge (619)446-5202

Project Fees:

Fee Description	Quantity	Units	Fee Amount
Express Plan Check Admin Fee	1.00	Each	\$-526.00
Express Plan Check Admin Fee	1.00	Each	\$526.00
Fee Collected-Other Agcy/Dept	1.00	Each	\$10.00
General Plan Maintenance	1.00	Each	\$-275.00
General Plan Maintenance	1.00	Each	\$275.00
Mapping	1.00	Each	\$-10.00
Mapping	1.00	Each	\$10.00
Stormwater Insp HP/ASBS (I)	1.00	Each	\$672.00
<b>Approval Total:</b>			<b>\$682.00</b>
<b>Job Total:</b>			<b>\$682.00</b>

Job: 1075263 13304 1/3 STONEBRIDGE PY

Approval Nbr: 19 65797 B Building Permit Status: Created

Fee Description	Quantity	Units	Fee Amount
BuildgStand Surcharge SB1473	95,000.00	Valuation -CBC	\$4.00
Records-Com/MDU(Calcs&Std)	1.00	Each	\$90.00
Retaining Wall w/Calc >12' (I)	210.00	Linear Feet	\$1,423.00
Retaining Wall w/Calc >12' (P)*	210.00	Linear Feet	\$-3,967.50
Retaining Wall w/Calc >12' (P)*	210.00	Linear Feet	\$3,967.50
Seismic Fee (Bldg Permit)	95,000.00	Valuation -CBC	\$26.60
<b>Express Plan Check</b>			
<b>Approval Total:</b>			<b>\$1,543.60</b>
<b>Job Total:</b>			<b>\$1,543.60</b>
<b>Project Total:</b>			<b>\$2,225.60</b>
<b>Invoice Total:</b>			<b>\$2,225.60</b>

**PAID**  
NOV 16 PAID



CITY OF SAN DIEGO  
DEVELOPMENT SERVICES







The City of  
**SAN DIEGO**  
 Development Services Department  
 Inspection Services Division  
 9601 Ridgehaven Court, Suite 220  
 San Diego, CA 92123 • (858) 492-5070  
 Call (858) 581-7111 for Inspection

## Circuit Card (Supplemental)

Page \_\_\_\_\_ of \_\_\_\_\_

**THIS CARD MUST BE FILLED OUT AND AVAILABLE ON THE JOB SITE FOR THE ROUGH INSPECTION. THE USE OF THIS 'SUPPLEMENTAL' CIRCUIT CARD REQUIRES THE USE OF THE 'PRIMARY' CIRCUIT CARD AS PAGE 1.**

PERMIT/APPROVAL NO. \_\_\_\_\_ PLAN FILE/PROJECT NO. \_\_\_\_\_

JOB ADDRESS (Print Number, Street Name, Unit No.) \_\_\_\_\_

CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
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Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
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Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
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CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
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CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


CIRCUIT NO. \_\_\_\_\_ CIRCUIT NO. \_\_\_\_\_

Breaker Size: A Wire Size: G Breaker Size: A Wire Size: G  
 \*ROOMS T C W R S \*ROOMS T C W R S


**I certify that the above information is accurate and complete and that all terminations are properly torqued.**

Company Name (Print): \_\_\_\_\_

Electrician/Owner Name (Print): \_\_\_\_\_

Electrician/Owner Signature: \_\_\_\_\_

California Electrician Certification Number: \_\_\_\_\_

Date: \_\_\_\_\_

# INSPECTION RECORD

- APPROVED PLANS AND DOCUMENTS, INCLUDING THE INSPECTION RECORD CARD, MUST BE AVAILABLE ON THE JOB SITE FOR ALL INSPECTIONS.
- EACH STAGE OF WORK SHALL BE LEFT EXPOSED FOR INSPECTION AND SHALL RECEIVE APPROVAL BEFORE COVERING.
- STORM WATER INSPECTIONS: Construction Storm Water Best Management Practices (BMPs) will be inspected throughout the life of the project and shall be maintained in accordance with all state and local requirements.
- Inspections shall be scheduled in advance by calling (858) 581-7111 from 7:00 a.m. to 10:00 p.m., or by visiting [www.sandiego.gov/development-services/opensds/](http://www.sandiego.gov/development-services/opensds/) website at: [www.sandiego.gov/development-services/opensds/](http://www.sandiego.gov/development-services/opensds/). Have approval number(s) available.

TYPE OF INSPECTION	DATE	INSPECTOR
1 Sewer Service/Backwater Valve		
2 Sanitary Plumbing under Building		
3 Water Service		
4 Water Piping under Building		
5 Grounding Electrode System		
6 Electrical Outside of Building		
7 Electrical under Building		
8 Gas Piping/Pressure		
9 Storm Water System		
10 Fire Sprinkler(s) – Hydro *		
11 Fire Sprinkler(s) – Flush *		
12 Fire Sprinkler(s) – Visual *		
13		

**UNDERGROUND**

14 Piling(s)/Caisson(s)/Etc.		
15 Footing(s)		
16 Foundation Wall(s)		
17 Slab(s)		
18 Masonry Pre-grout-Lift 1 ___ Lift 2 ___		
19 Wall Drainage System(s)		
20 Public Improvements – Form Set		
21 Pool Shell Bonding/Steel		
22 Pool Deck Bonding/Steel		
23 Pool Pre-plaster/Light Potting Compound		
24 Accessibility		
25 Special Inspection(s)		
26		
27		

**FOUNDATIONS**

28 Service Equipment		
29 Sub Feed/Misc. Equipment		
30 Walls		
31 Ceiling/Suspended Ceiling		
32 Circuit(s) Interior/Exterior		
33 Circuit Card		
34		

**ELECTRICAL ROUGH**

35 Sanitary Plumbing		
36 Water Piping		
37 Gas Piping		
38 Gas Pressure		
39 Heating/Duct(s)/Vent(s)		
40 Air Conditioning/Refrigeration		
41 Environmental Air System(s)		
42 "Built-Up" Tub(s) or Shower Pan(s)		
43 Grease Duct(s)/Hood(s)		
44 Grease Trap(s)		
45 Roof/Deck Drain		
46 Cross Connection (Backflow)		
47 Hazardous Material Piping Tank Application (TA) – (619) 533-4477		
48		
49		

**MECHANICAL & PLUMBING ROUGH**

Project Address:	Project Number:	
Approval Scope:	Permit Issue Date:	

APPROVAL	NUMBER	APPROVAL	NUMBER
BUILDING		FIRE SUPPRESSION	
ELECTRICAL		FIRE ALARM	
MECHANICAL		U/G FIRE SERVICE	
PLUMBING		TANK/HAZ MATERIALS	
COMBINATION			

TYPE OF INSPECTION	DATE	INSPECTOR
50 Exterior Wall Construction		
51 Interior Wall Construction		
52 Floor System(s)		
53 Roof System(s)		
54 Shear Wall(s)		
55 Height		
56 Accessibility		
57		
58		
59		

**FRAMING ROUGH**

60 Fire Alarm(s) – Rough *		
61 Special Suppression System *		
62 Fire Sprinkler(s) – Rough *		
63		

**FIRE ROUGH**

64 Insulation – Attic(s)/Ceiling(s)/Soffit(s)		
65 Insulation – Floor(s)		
66 Insulation – Roof(s)		
67 Insulation – Wall(s)/Sound Transmission		
68		

**INSULATION**

69 Drywall		
70 Exterior Lath		
71 Interior Lath /Backer Board		
72 Suspended Ceiling System		

**COVERINGS**

73 Landscape- Paving – (619) 980-7208		
74 S/W PBMP Landscape – (619) 980-7208		
75 Mitigation Monitoring – (858) 627-3360		
76		

**SITE**

SCHEDULE FINAL INSPECTION ONLY AFTER ALL APPROPRIATE ITEMS PERTAINING TO THIS PROJECT HAVE BEEN APPROVED.

77 Fire Alarm(s) *		
78 Fire Sprinkler(s) *		
79 Smoke Control *		
80 Fire Pump*		
81 Special Suppression System *		
82 Kitchen Hood*		
83 Hazardous Material Piping Tank Application (TA) – (619) 533-4477		
84 Landscape – (619) 980-7208		
85 Mitigation Monitoring – (858) 627-3360		
86 Grading – Combination/Building		
87 Electrical		
88 AC/Heating/Refrigeration/Ventilation		
89 Range Hood(s)/Vent(s)		
90 Plumbing/Gas		
91 Accessibility		
92 Structural		
<b>FINAL APPROVAL</b>		

**FINAL INSPECTIONS**

## IMPORTANT INFORMATION:

- **INSPECTION RESULTS AND PERMIT INFORMATION CAN BE FOUND BY VISITING [Opensd](http://www.sandiego.gov/development-services/opensd/) at: [www.sandiego.gov/development-services/opensd/](http://www.sandiego.gov/development-services/opensd/)**
- **IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO SCHEDULE ALL REQUIRED INSPECTIONS.**
- **FIELD INSPECTIONS ARE PERFORMED MONDAY THROUGH FRIDAY, 8:30 A.M. TO 3:30 P.M.**
- **AN ADULT MUST BE PRESENT FOR ALL INSPECTIONS, UNLESS OTHER ARRANGEMENTS ARE MADE IN ADVANCE.**
- **A HIGH VOLUME OF INSPECTION REQUESTS MAY RESULT IN SOME INSPECTIONS NOT BEING COMPLETED ON THE DAY REQUESTED.**
- **IF YOU NEED A CONFIRMATION OR TIME FRAME FOR AN INSPECTION, LEAVE A MESSAGE FOR THE INSPECTOR THE NIGHT BEFORE THE SCHEDULED INSPECTION DATE, OR PRIOR TO 7:45 A.M. ON THE DAY OF THE INSPECTION. [CLEARLY](#) GIVE YOUR ADDRESS, APPROVAL NUMBER AND A CALL BACK PHONE NUMBER. THE INSPECTOR WILL CALL YOU BACK THE MORNING OF THE INSPECTION WITH A TIME FRAME.**
- **INSPECTORS ARE AVAILABLE BY PHONE ON NORMAL BUSINESS DAYS FROM 7:15 TO 7:45. MESSAGES LEFT AFTERWARDS MAY NOT BE RETURNED UNTIL THE FOLLOWING BUSINESS DAY. MESSAGES CAN BE LEFT AT ANY TIME. INSPECTORS' DESK PHONE NUMBERS CAN BE FOUND ON DEVELOPMENT SERVICES' WEBSITE OR THE INSPECTION REQUEST PHONE LINE 858-581-7111.**
- **AFTER HOURS INSPECTIONS ARE OFFERED FOR AN ADDITIONAL FEE, BASED ON STAFFING AVAILABILITY. CALL (858) 492-5070 FOR INFORMATION.**
- **CONSTRUCTION HOURS ARE 7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SATURDAY EXCLUDING HOLIDAYS.**
- **WORK PERFORMED DURING HOURS OTHER THAN THOSE NOTED ABOVE REQUIRES A PERMIT FROM THE CODE ENFORCEMENT SECTION. CALL (619) 236-5500 FOR INFORMATION.**
- **A TRAFFIC CONTROL PERMIT IS REQUIRED FOR ANY MATERIALS, WORK, OR TRASH CONTAINERS THAT ENCROACH INTO THE PUBLIC RIGHT-OF-WAY. CALL (619) 446-5150 AND/OR SEE DEVELOPMENT SERVICES DEPARTMENT INFORMATION BULLETIN 177 at: [www.sandiego.gov/development-services/pdf/industry/infobulletin/b177.pdf](http://www.sandiego.gov/development-services/pdf/industry/infobulletin/b177.pdf).**

### PERMIT EXPIRATION

A permit shall expire if substantial work authorized by the permit has not been completed and validated by an inspection within 180 calendar days of the date of permit issuance, or if the work authorized by the permit is suspended or abandoned for a period of 180 calendar days. Under certain conditions an extension to a Building Permit may be granted per SDMC 129.0219. Call (858) 492-5070 for more information.

### GENERAL BUILDING INSPECTION REQUIREMENTS:

Required inspections noted below are mandatory and inspection approval of all work shall be obtained before covering or concealing any work. The following inspections are listed to guide the permit holder in scheduling inspections. This list is not inclusive of all required inspections.

1. **PRE-CONSTRUCTION MEETING:** A Pre-construction Meeting may be required to clarify issues related to coastal exemptions, height, historical resources, the number of bedrooms, floor area, and high priority storm water projects. A required Pre-construction Meeting shall be completed before the commencement of any work. It is the responsibility of the contractor or owner to schedule all required Pre-construction Meetings with the appropriate staff. Refer to the Inspection Plan for additional information.
2. **UNDERGROUND:** Performed after all trenches are excavated and all required underground electrical, mechanical, plumbing, fire service and storm water components are properly installed. Systems requiring testing shall be "under test" upon the inspector's arrival.
3. **FOUNDATION:** Performed after foundations are excavated, forms erected, reinforcing steel installed, and hardware inserts tied in place.
4. **MASONRY PRE-GROUT:** Performed after each lift of masonry units are erected up to a maximum height of five (5) feet; if cleanouts are not provided; and up to a maximum height of eight (8) feet when cleanouts are provided. All hardware and reinforcement shall be in place at the time of inspection.
5. **WALL DRAINAGE PIPING:** Shall be installed and inspected a minimum of seven (7) days after walls are grouted or poured, but before wall backfill materials are installed.
6. **1st FLOOR SYSTEM:** Performed after all floor framing components and all rough electrical, mechanical, and plumbing components are installed beneath, or through said floor system(s), and ready for inspection. Insulation or floor sheathing shall not be installed until inspection approval of this work has been obtained.
7. **2nd FLOOR AND ABOVE FLOOR SYSTEMS/SHEATHING:**  
Performed after all floor framing components including hardware and floor sheathing are installed.
8. **EXTERIOR WALL FRAMING:** Performed after exterior wall framing is complete, all doors and windows are installed and all exterior penetrations and openings are properly flashed.
9. **ROOF SYSTEM:** Performed after all roof framing components and a roof sheathing are installed. Where multiple layers or levels make up a roof system, inspection approval is required of each layer or level prior to installing the next layer or level of roof system components.

10. **ALL FRAME & ROUGH:** Performed after all rough floor, wall, and roof framing is complete and all electrical, mechanical, plumbing, fire alarm and fire sprinkler components are properly installed within the structure. A completed and signed City of San Diego Electrical Circuit Card is required for inspection of any electrical components or systems not shown on approved electrical drawings. **Note:** Insulation shall not be installed until inspection approval of this work is obtained.

11. **INSULATION:** Performed after the building is made weather tight and all ceiling, floor, and wall insulation have been installed and properly secured in place, but before any surface coverings are installed. Blown-in or other loose fill type insulation may be installed at a later date in an attic or ceiling spaces after the ceiling surface materials are installed (installer's Certificate of Compliance must be provided before final inspection is performed).

12. **LATH OR GYPSUM BOARD:** Performed after all interior or exterior lath or interior wallboard are installed; but before any plaster, siding, stucco, tile, veneers, or other surface coverings are applied or any wallboard joints and fasteners are taped and finished. A shower pan water test inspection is required.

13. **ACCESSIBILITY:** Performed at those appropriate times during the building process as determined by the Field Inspection Staff. A "pre-construction" site meeting may need to be arranged to clarify issues of this nature. Call your assigned area inspector for information.

14. **ENGINEERING & PUBLIC IMPROVEMENT INSPECTIONS:** Performed at those appropriate times during the building process as determined by the Engineering Department. Call (858) 627-3200 for information.

15. **SITE DEVELOPMENT INSPECTIONS:** Performed at those appropriate times during the building process as determined by DSD site development staff. Call (858) 627-3331 or (858) 627-3360 for information.

16. **SPECIAL INSPECTIONS AND TESTING:** Are performed by a special inspector(s) or testing lab certified by the City of San Diego, for the type of work specified and required to be inspected. Please be advised that special inspections are in addition to, and not a substitute for, the inspections required by the Building Official as required per Section 129.0111 of the San Diego Municipal Code

17. **STRUCTURAL OBSERVATIONS:** To be performed by the architect or engineer of record, who is responsible for the structural design of the project as specified on the approved plans.

18. **HAZARDOUS MATERIALS, TANK & SYSTEM FINAL:** Performed after all components of system are installed and pre-tested. This includes tanks, piping with approved pressure testing, and all initiating and notification devices checked and verified.

19. **FIRE ALARM FINAL:** Performed after all devices and appliances are installed and pretested, with the final surface finishes of the building in place.

20. **FIRE SPRINKLER FINAL:** Performed after all piping, sprinklers and associated equipment are installed and braced and the final surface finishes in the building are in place.

21. **FINAL INSPECTIONS:** Final inspection (approval to occupy) will be made after all other dependent approvals have been completed and approved.

22. **CUSTOMER REQUEST INSPECTION:** You may schedule a Customer Request Inspection when the regular inspections are unavailable through the automated inspection scheduling line. Contact your inspector the morning of your scheduled Customer Request Inspection for further information. The inspector will inform you whether or not your inspection can be performed.

23. **OTHER INSPECTIONS:** In addition to those inspections specified above, the Building Official may make or require other inspections of any construction work to ascertain compliance with the provisions of this Code and/or other laws which are enforce by the Development Services Department.

### RE-INSPECTION FEES:

A re-inspection fee may be assessed for an inspection or re-inspection when:

- An inspection has been requested for incomplete work.
- Corrections previously noted have not been made.
- Work has been concealed without inspection approval.
- Access is not provided on the date the inspection is requested.
- The inspection record card and/or approved plans are not readily available to the inspector.
- Storm Water Best Management Practices (BMPs) are not in place or functioning properly.

If re-inspection fees are assessed, additional inspections will not be performed until the required fees have been paid.

FOR ADDITIONAL INFORMATION, NEWS, AND UPDATES CONCERNING THE DEVELOPMENT PROCESS, PLEASE VISIT THE DEVELOPMENT SERVICES DEPARTMENT at: [www.sandiego.gov/development-services/](http://www.sandiego.gov/development-services/)

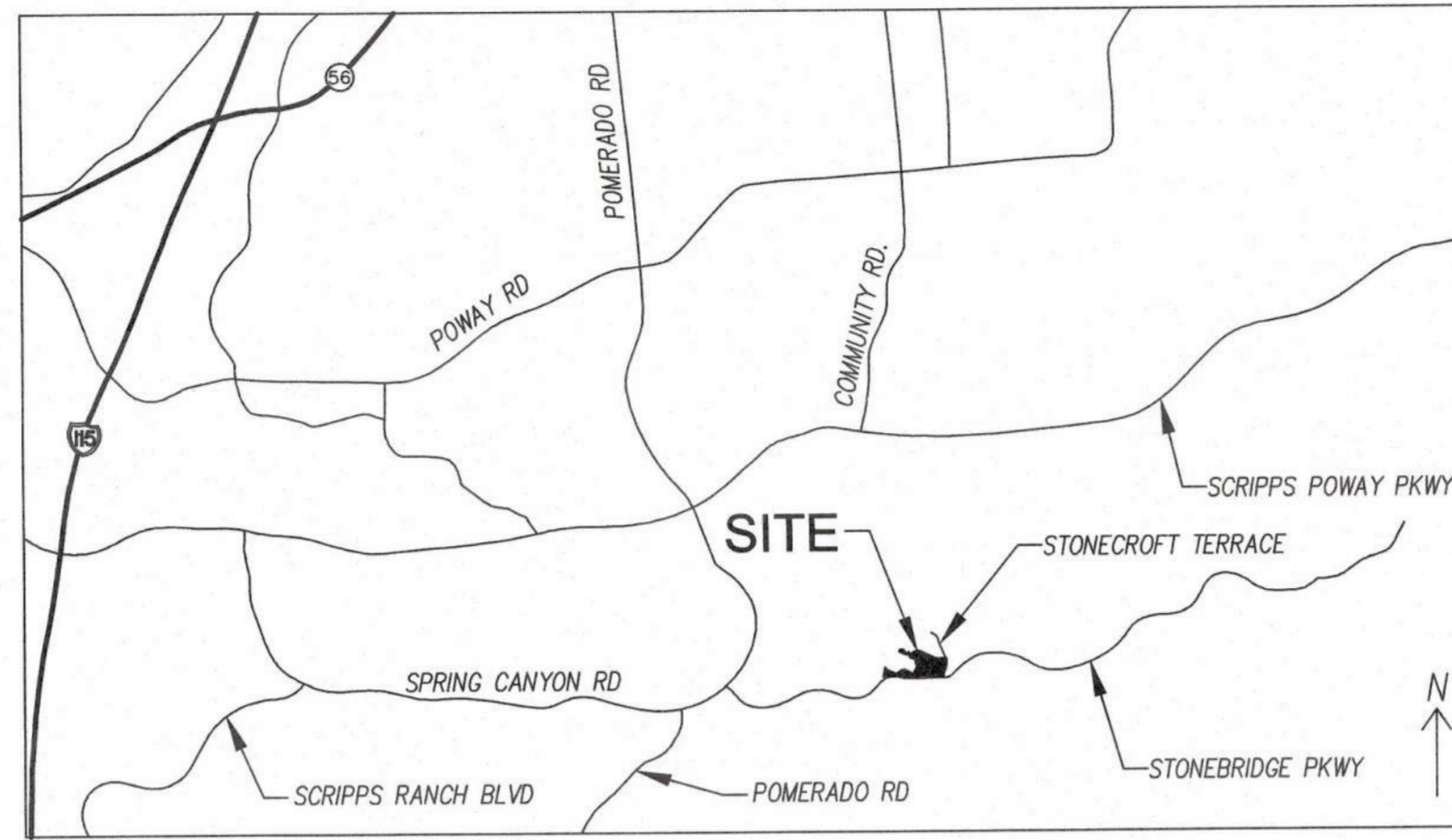
OWNER/APPLICANT SDG&E

SDG&E
8316 CENTURY PARK CT, SAN DIEGO, CA 92123
SEAN QUINN 858-495-2615

GRADING PLANS FOR:
SYCAMORE CANYON SUB TO PENASQUITOS SUB

CONSTRUCTION BMP GENERAL NOTES

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW.
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE WATER QUALITY TECHNICAL REPORT (WQTR) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.



VICINITY MAP
NO SCALE

BASIS OF COORDINATES + ELEVATION

THE COORDINATES SHOWN HEREON WERE DERIVED FROM GNSS OBSERVATIONS UTILIZING THE NORTH AMERICAN DATUM OF (NAD83), CALIFORNIA COORDINATE SYSTEM 1983 (CCS83), ZONE VI, AT EPOCH 1991.35, CONSTRAINED TO CONTROL LISTED BELOW PER ROS 14492. THE PROJECT WAS THEN TRANSLATED TO EPOCH 2007.00 AT STATION NO. 571 PER AN EXHIBIT TITLED, "SX TO PQ NV5 SURVEY CONTROL"

ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONTROL STATIONS PER RECORD OF SURVEY NO. 14492:

CULTURAL AND PALEONTOLOGICAL RESOURCES

- 1. PRIOR TO CONSTRUCTION, ALL SDG&E, CONTRACTOR, AND SUBCONTRACTOR PROJECT PERSONNEL WILL RECEIVE TRAINING REGARDING THE APPROPRIATE WORK PRACTICES NECESSARY TO EFFECTIVELY IMPLEMENT THE MITIGATION MEASURES AND TO COMPLY WITH THE APPLICABLE ENVIRONMENTAL LAWS AND REGULATIONS, INCLUDING THE POTENTIAL FOR EXPOSING SUBSURFACE CULTURAL RESOURCES AND PALEONTOLOGICAL RESOURCES AND TO RECOGNIZE POSSIBLE BURIED RESOURCES. THIS TRAINING WILL INCLUDE PRESENTATION OF THE PROCEDURES TO BE FOLLOWED UPON DISCOVERY OR SUSPECTED DISCOVERY OF ARCHAEOLOGICAL MATERIALS, INCLUDE NATIVE AMERICAN REMAINS, AND THEIR TREATMENT, AS WELLS AS OF PALEONTOLOGICAL RESOURCES.

GENERAL NOTES

SEE DWG# SXPQ-001 THRU SXPQ- 010.

- 1. NEITHER THE OWNER NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.

- 7. SUBCONTRACTOR SHALL PROVIDE FOR DEWATERING AT EXCAVATIONS FROM EITHER SURFACE WATER OR SEEPAGE, AND PROVIDE ADEQUATE SHORING TO PREVENT CAVING.
8. THE SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FOR TEMPORARY CONSTRUCTION DEWATERING. A PERMIT IS REQUIRED FROM THE REGIONAL WATER QUALITY CONTROL BOARD FOR ANY DISCHARGE OF GROUNDWATER TO THE ENVIRONMENT. THE SUBCONTRACTOR SHALL COMPLY WITH REGIONAL WATER QUALITY CONTROL BOARD WASTE DISCHARGE PERMIT REQUIREMENTS, AS APPLICABLE, BEFORE STARTING DEWATERING OPERATIONS. THE SUBCONTRACTOR SHALL OBTAIN AUTHORIZATION, AS REQUIRED, FOR THE DISPOSAL OF GROUNDWATER. THE SUBCONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAMPLING, TESTING, MONITORING, AND REPORTING REQUIREMENTS

STANDARD DRAWINGS

SAN DIEGO AREA REGIONAL STANDARD DRAWINGS, LATEST ADOPTED EDITION.

BENCHMARK

3/4" IRON PIPE & DISC SAN DIEGO CITY ENG. (STATION NO. 571 PER ROS NO. 14492)

TOTAL DISTURBED AREA

TOTAL SITE DISTURBED AREA = 0.16 ACRES

EX. AND PROP. IMPERVIOUS AREA

EXISTING IMPERVIOUS AREA = 0.00 ACRES
PROPOSED IMPERVIOUS AREA = 0.007 ACRES

ASSESSORS PARCEL NUMBER

320-03-055

LEGAL DESCRIPTION FOR LEADING PLANS

CITY OF SAN DIEGO MAP #14707 MONTECITO UNIT #3 LOT B.

WORK TO BE DONE

CONSTRUCT 210' LONG MSE RETAINING WALL WITH A MAX. HT. OF 17'.

GRADING + GEOTECHNICAL SPECIFICATIONS

- 1. ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED REPORT TITLE, SXPQ 230KV TRANSMISSION LINE ALTERNATIVE 5, SAN DIEGO COUNTY, PREPARED BY TRINITY GEOTECHNICAL ENGINEERING INC., JANUARY 12, 2017, PROJECT# T-0126-G

TOPOGRAPHY SOURCE

GIS SURVEYORS, INC., 12120 TECH CENTER DR, POWAY, CA 92064
TOPO SOURCE METHOD: SITE SURVEY
NOVEMBER 5, 2014

GRADING QUANTITIES

Table with columns: GRADED AREA, CUT QUANTITIES, FILL QUANTITIES, IMPORT. Values include 0.16 [ACRES], 49 [CYD], 573 [CYD], 524 [CYD].

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Professional Engineer Seal for Kevin S. Mathew, License No. 558740, State of California, dated 9/18/17. Includes project info for Burns & McDonnell.

LEGEND section showing symbols for Proposed Improvements (Transmission Pole, Index Contour, Intermediate Contour, etc.) and Existing Improvements (Transmission Tower, Index Contour, etc.).

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE (CBC) AS AMENDED BY THE CITY OF SAN DIEGO MUNICIPAL CODE
STANDARD SPECIFICATION OF AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)

RETAINING WALL SQUARE FOOTAGE SCHEDULE table with columns: WALL NUMBER, LOCATION, DETAIL, MAX. EXPOSED HEIGHT (ft), MAX. HEIGHT (ft), LENGTH (ft), SURFACE AREA (sf), APPROVAL NO.

CONSTRUCTION CHANGE TABLE with columns: CHANGE, DATE, EFFECTED OR ADDED SHEET NUMBERS, APPROVAL NO., PROJECT NO. Includes a WARNING section.

The City of SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Professional Engineer Seal for Dennis Poland, License No. CE-2578, State of California, dated 9/18/17. Includes project info for Burns & McDonnell.

TITLE SHEET FOR: SYCAMORE CANYON SUB TO PENASQUITOS SUB. SXPQ-230KV LINE PROJECT. CITY OF SAN DIEGO, CALIFORNIA. DEVELOPMENT SERVICES DEPARTMENT. SHEET 1 OF 7 SHEETS. Includes project details and approval dates.



# STORM WATER NOTES

**SD** City of San Diego Development Services Storm Water Requirements Applicability Checklist **FORM DS-560** **October 2016**

Project Address: 11400 Stonecroft Terrace Project Number (for City Use Only):

**SECTION 1. Construction Storm Water BMP Requirements:**  
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

**For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.**

**PART A: Determine Construction Phase Storm Water Requirements.**

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)  
 Yes; SWPPP required, skip questions 2-4  No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and contact with storm water runoff?  
 Yes; WPCP required, skip 3-4  No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)  
 Yes; WPCP required, skip 4  No; next question
- Does the project only include the following Permit types listed below?  
  - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
  - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
  - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: [www.sandiego.gov/stormwater/regulations/index.html](http://www.sandiego.gov/stormwater/regulations/index.html)

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

**PART B: Determine Construction Site Priority**  
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

**Complete PART B and continued to Section 2**

- ASBS  
a. Projects located in the ASBS watershed.
- High Priority  
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.  
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
- Medium Priority  
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.  
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
- Low Priority  
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

**SECTION 2. Permanent Storm Water BMP Requirements.**  
Additional information for determining the requirements is found in the Storm Water Standards Manual.

**PART C: Determine if Not Subject to Permanent Storm Water Requirements.**  
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

**If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".**  
**If "no" is checked for all of the numbers in Part C continue to Part D.**

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?  Yes  No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?  Yes  No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).  Yes  No

City of San Diego • Development Services • Storm Water Requirements Applicability Checklist Page 3 of 4

**PART D: PDP Exempt Requirements.**  
PDP Exempt projects are required to implement site design and source control BMPs.  
If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."  
If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofitted sidewalks, bicycle lanes, or trails that:
  - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
  - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
  - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards Manual? Yes; PDP exempt requirements apply  No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?  
 Yes; PDP exempt requirements apply  No; project not exempt.

**PART E: Determine if Project is a Priority Development Project (PDP).**  
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

**If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".**  
**If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".**

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.  Yes  No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.  Yes  No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).  Yes  No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.  Yes  No
- New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5041, 7532-7534, or 7536-7539.  Yes  No
- Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces.  Yes  No

**PART F: Select the appropriate category based on the outcomes of PART C through PART E.**

- The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management

Name of Owner or Agent (Please Print) *Kevin Yehy* Title *Project Civil ENGINEER*

Signature *KM* Date *8-1-17*

# CONSTRUCTION STORM WATER PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES) 0.16

HYDROLOGIC UNIT / WATERSHED HYDROLOGIC: LOS PENASQUITOS

HYDRAULIC SUB AREA NAME AND NUMBER: MIRAMAR RESERVOIR (906.10) & POWAY (906.20)

2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE

WPCP

THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.

SWPPP

THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ

TRADITIONAL: RISK LEVEL  1  2  3  
LUP RISK LEVEL  1  2  3

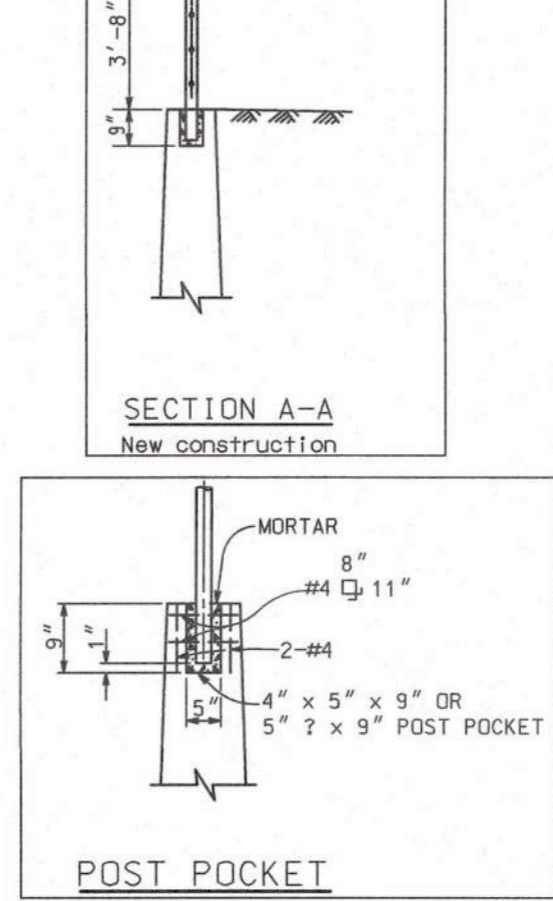
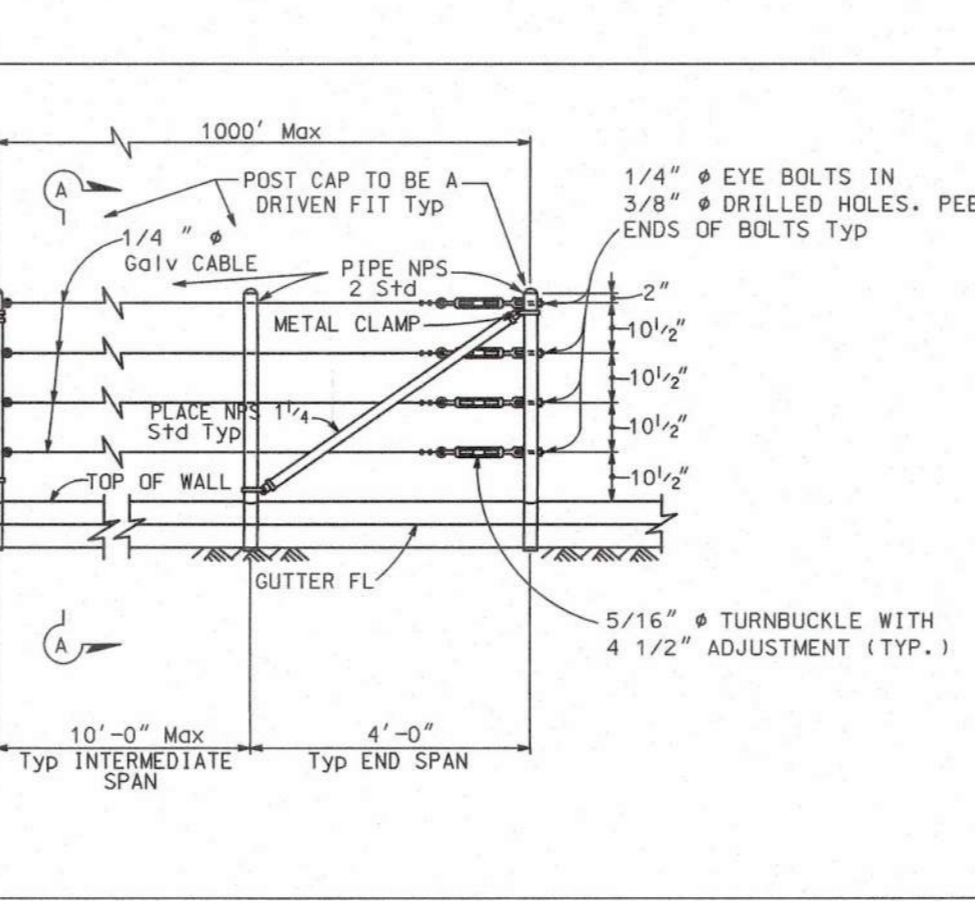
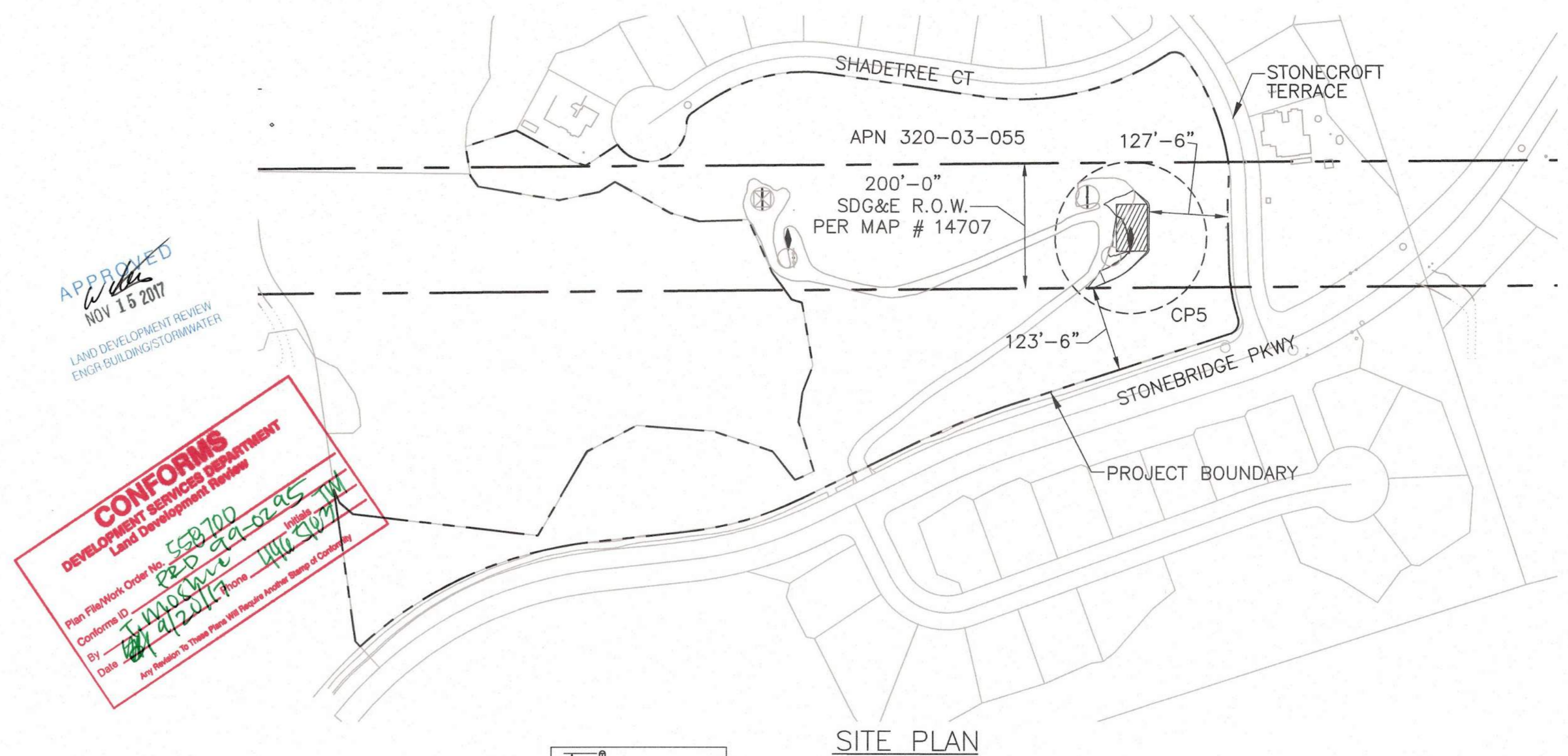
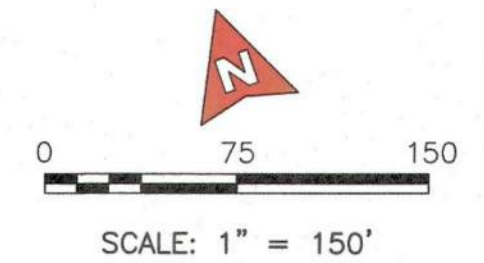
3. CONSTRUCTION SITE PRIORITY

ASBS  HIGH  MEDIUM  LOW

WID NO: 9.37C378443

NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES." (NEW ISSUE)

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED, BY THE CALIFORNIA CONSTRUCTION CODES." (NEW ISSUE)



- NOTES:**
- Maximum distance between turnbuckles shall be 200'-0".
  - Intermediate turnbuckles to be placed in adjacent spans.
  - Cable shall not be spliced between intermediate turnbuckles and end posts.
  - Posts to be vertical.
  - Alignment of holes in posts may vary to conform to slope of top of retaining wall.
  - The contractor shall verify all dependent dimensions in the field before ordering or fabricating any material.
  - Line posts shall be braced horizontally and trussed diagonally in both directions at intervals not to exceed 1000'.
  - Post pockets to be centered in top of wall.
  - Typical end spans, braced in both directions, shall be constructed at changes in line where the angle of deflection is 15° or more.



NOTES + SITE PLAN FOR:  
**SYCAMORE CANYON SUB TO PENASQUITOS SUB**  
CP5 MSE WALL

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 7 SHEETS		I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	
AS-BUILTS		
CONTRACTOR	DATE STARTED	SXPQ-WALL-002
INSPECTOR	DATE COMPLETED	

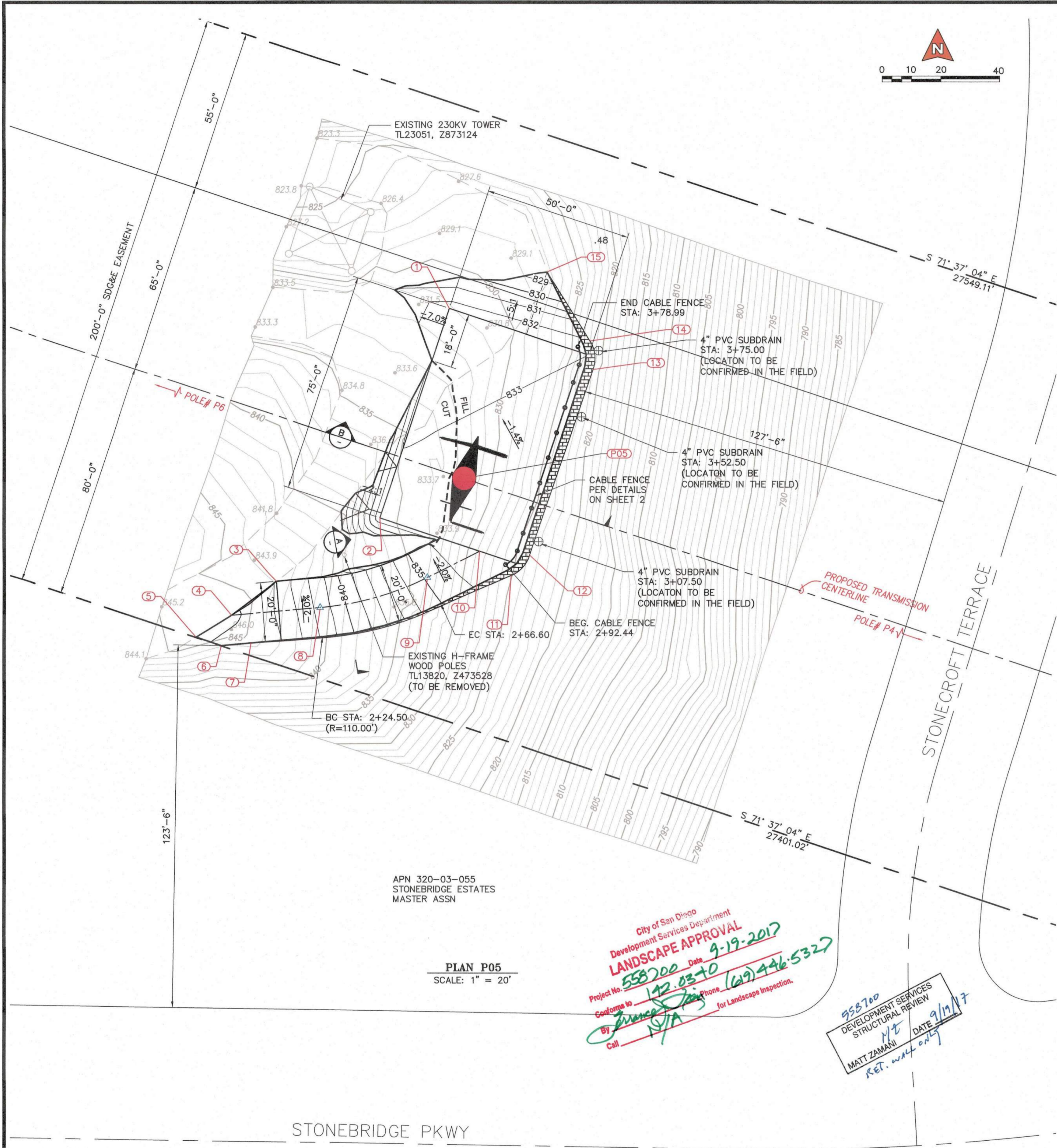
**CONSTRUCTION CHANGE TABLE**

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING  
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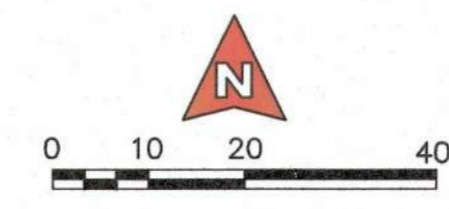
The City of **SAN DIEGO**  
**DEVELOPMENT SERVICES DEPARTMENT**





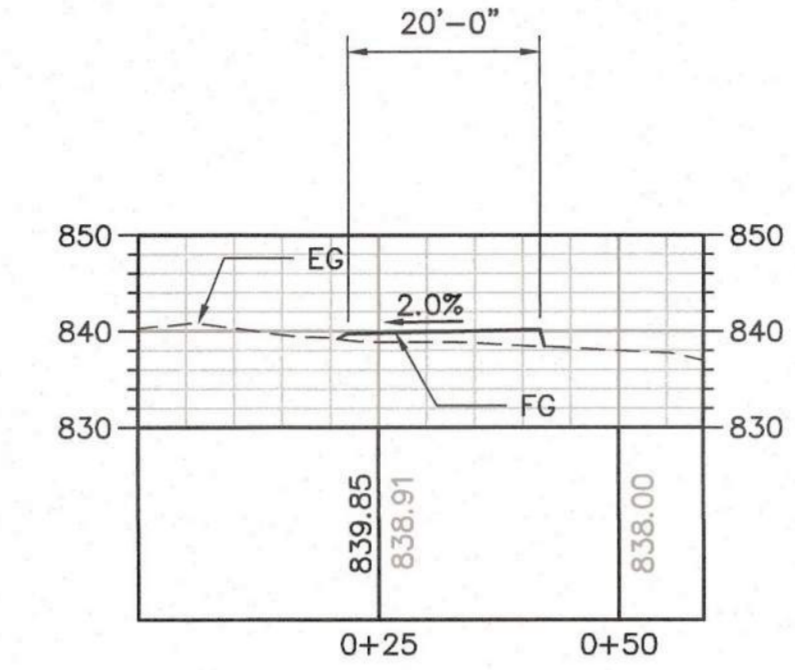
**EARTH QUANTITIES:**

CUT: 49 cu.yd  
 FILL: 622 cu.yd  
 Disturbed Area: 7032 S.F.  
 Retaining Wall 1382 S.F.  
 Max Wall Height: 13 FT.

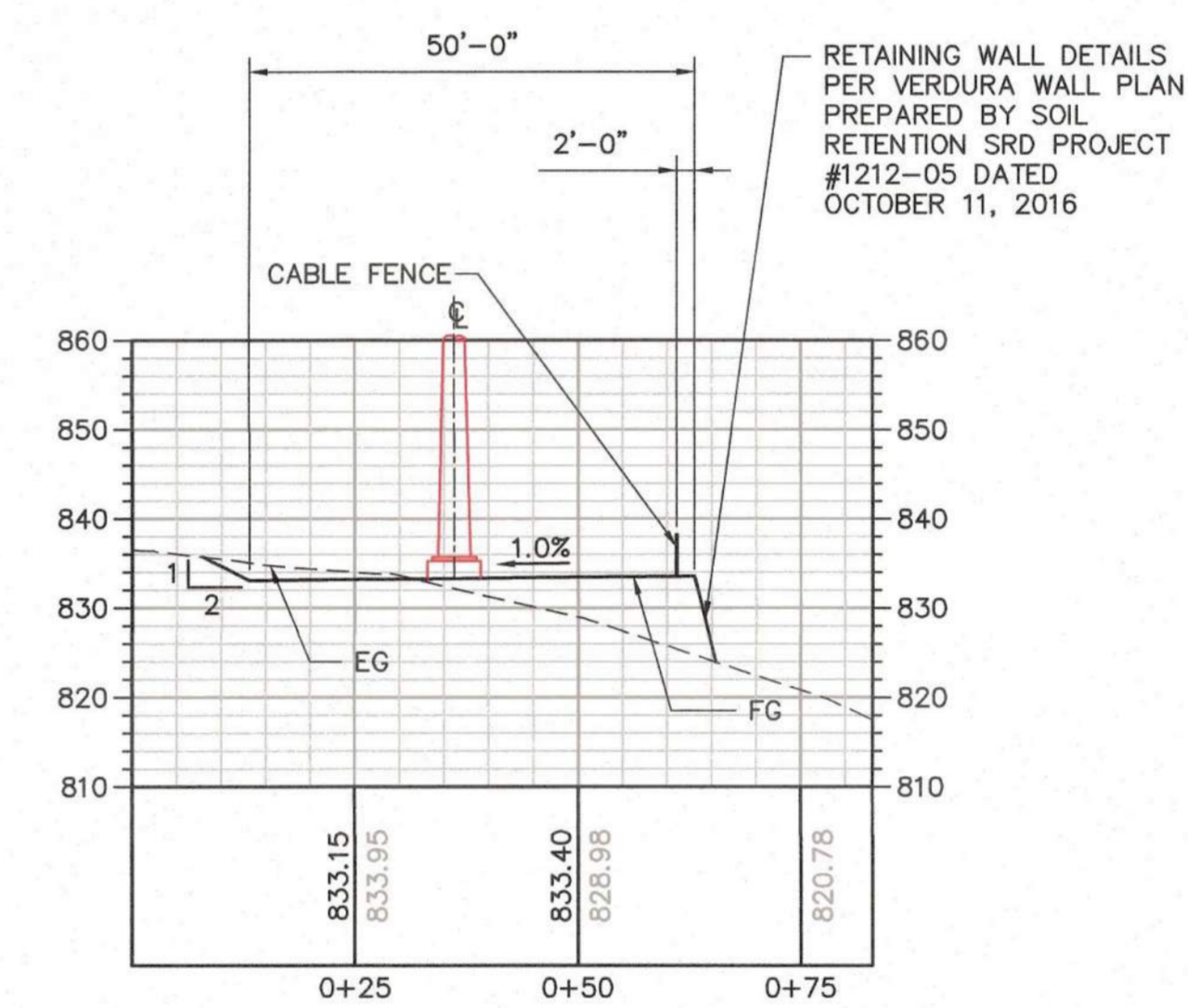


P05				
NORTHING	EASTING	ELEVATION	POLE HT.	DESCRIPTION
1916366.44	6318508.94	833.26	159.5'	230KV CABLE POLE DE/STRAIN STRUCTURE

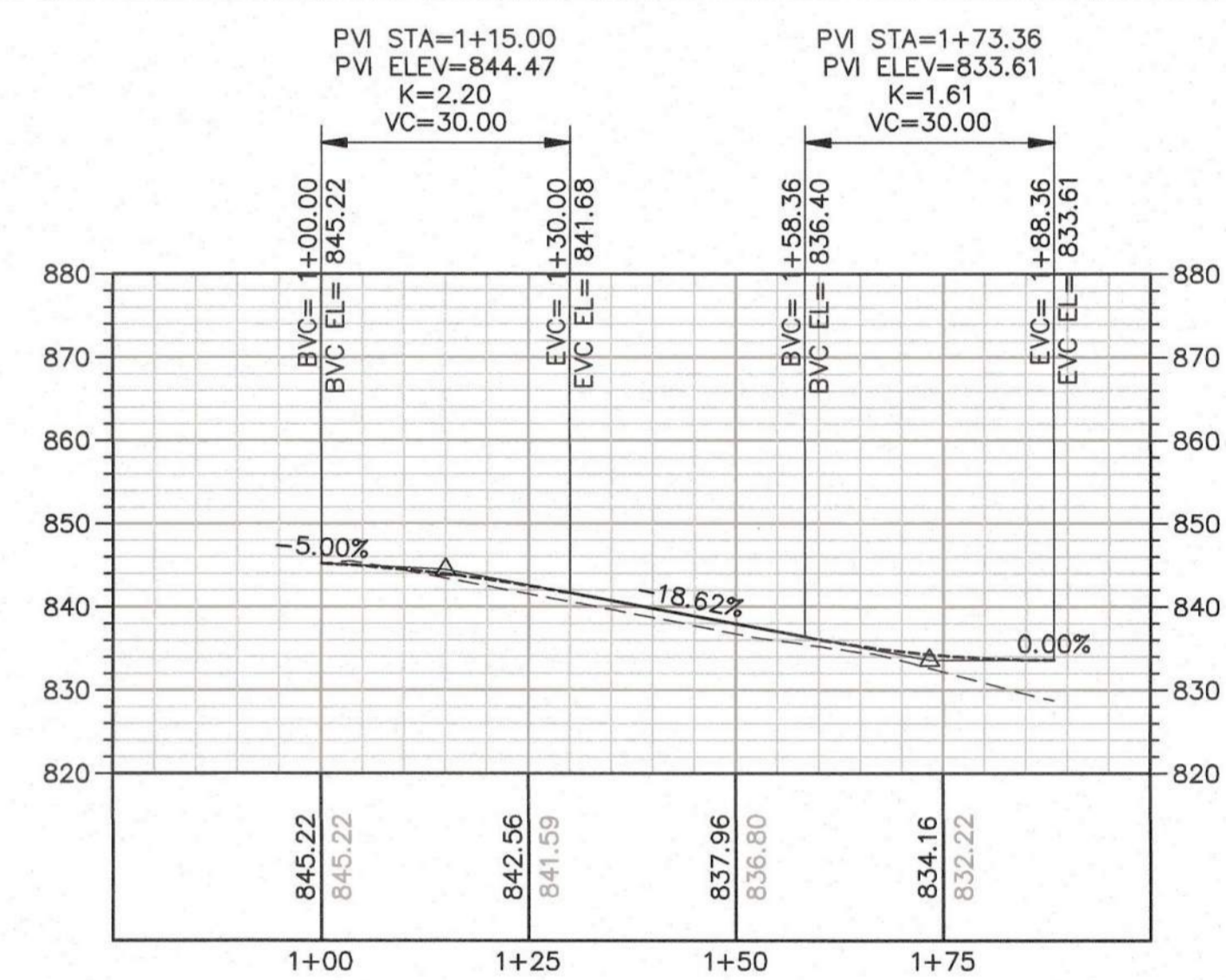
HORIZONTAL CONTROL				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1916424.23	6318503.95	832.50	PAD CORNER
2	1916353.09	6318480.22	833.25	PAD CORNER
3	1916331.30	6318444.99	843.92	BEG. DR. EDGE TIE-IN EXIST.
4	1916319.98	6318429.73	845.22	BEG. ACCESS CL STA. 0+00.00 TIE-IN EXIST.
5	1916312.53	6318417.69	845.29	BEG. DR. EDGE TIE-IN EXIST.
6	1916309.66	6318426.31	844.11	DR. EDGE TIE-IN EXIST.
7	1916310.50	6318436.40	844.44	BEG. WALL TIE-IN EXIST.
8	1916322.52	6318459.96	841.62	STA. 1+30.34 BC, R=100.00'
9	1916332.78	6318496.40	834.84	STA. 1+68.43 EC, R=100.00'
10	1916341.72	6318514.23	833.61	END ACCESS CL STA. 0+88.36
11	1916333.47	6318524.93	825.09	WALL STA. 2+92.44 BC, R=10.00'
12	1916340.40	6318531.30	823.81	WALL STA. 3+02.14' EC, R=10.00'
13	1916403.53	6318552.93	820.97	WALL STA. 3+68.87' BC, R=10.00'
14	1916413.26	6318551.82	822.14	WALL STA. 3+78.99' EC, R=10.00'
15	1916436.60	6318537.29	828.32	END OF WALL TIE-IN EXIST.



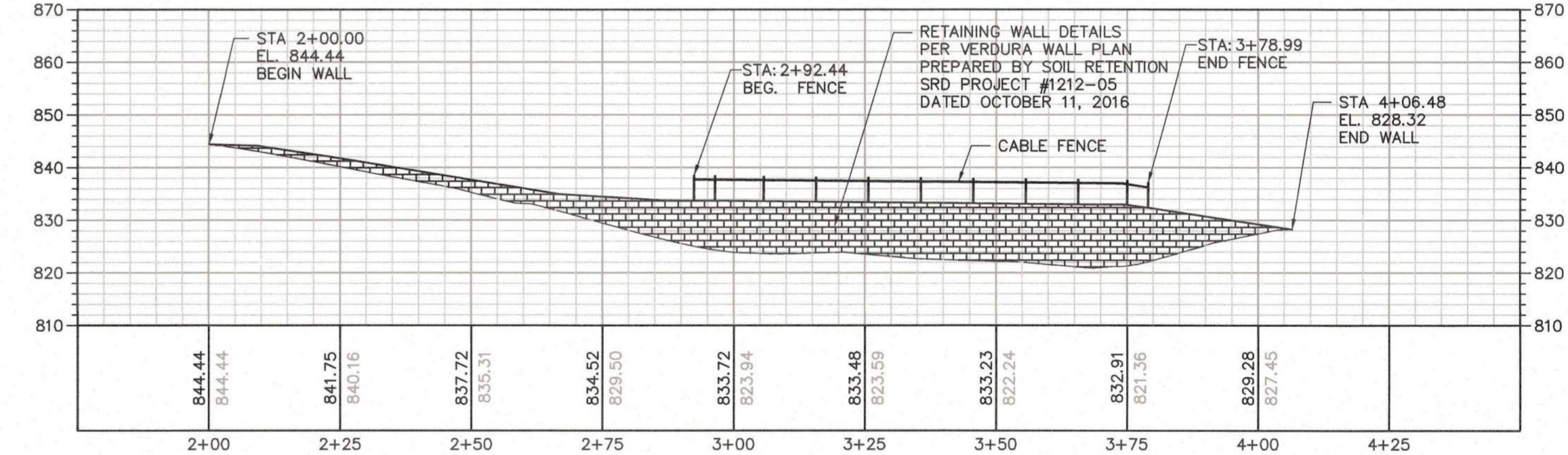
SECTION A  
 SCALE: 1" = 20'



SECTION B  
 SCALE: 1" = 20'



ACCESS CL PROFILE  
 SCALE: 1" = 20'



RETAINING WALL PROFILE  
 SCALE: 1" = 20'

PLAN P05  
 SCALE: 1" = 20'

City of San Diego  
 Development Services Department  
**LANDSCAPE APPROVAL**  
 Project No. 558700 Date 9-19-2017  
 Conforms to 12.03.10 (69)446-5327  
 By [Signature] for Landscape Inspection.  
 Call [Signature]

958700  
 DEVELOPMENT SERVICES  
 STRUCTURAL REVIEW  
 MATT ZAMANI  
 DATE 9/19/17  
 RET. WALL ONLY



GRADING PLAN FOR:  
**SYCAMORE CANYON SUB TO PENASQUITOS SUB**  
 CP5 MSE WALL

CITY OF SAN DIEGO, CALIFORNIA  
 DEVELOPMENT SERVICES DEPARTMENT  
 SHEET 9 OF 7 SHEETS

FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	DATE
AS-BUILTS		
CONTRACTOR	DATE STARTED	
INSPECTOR	DATE COMPLETED	

**XPQ-WALL-003**

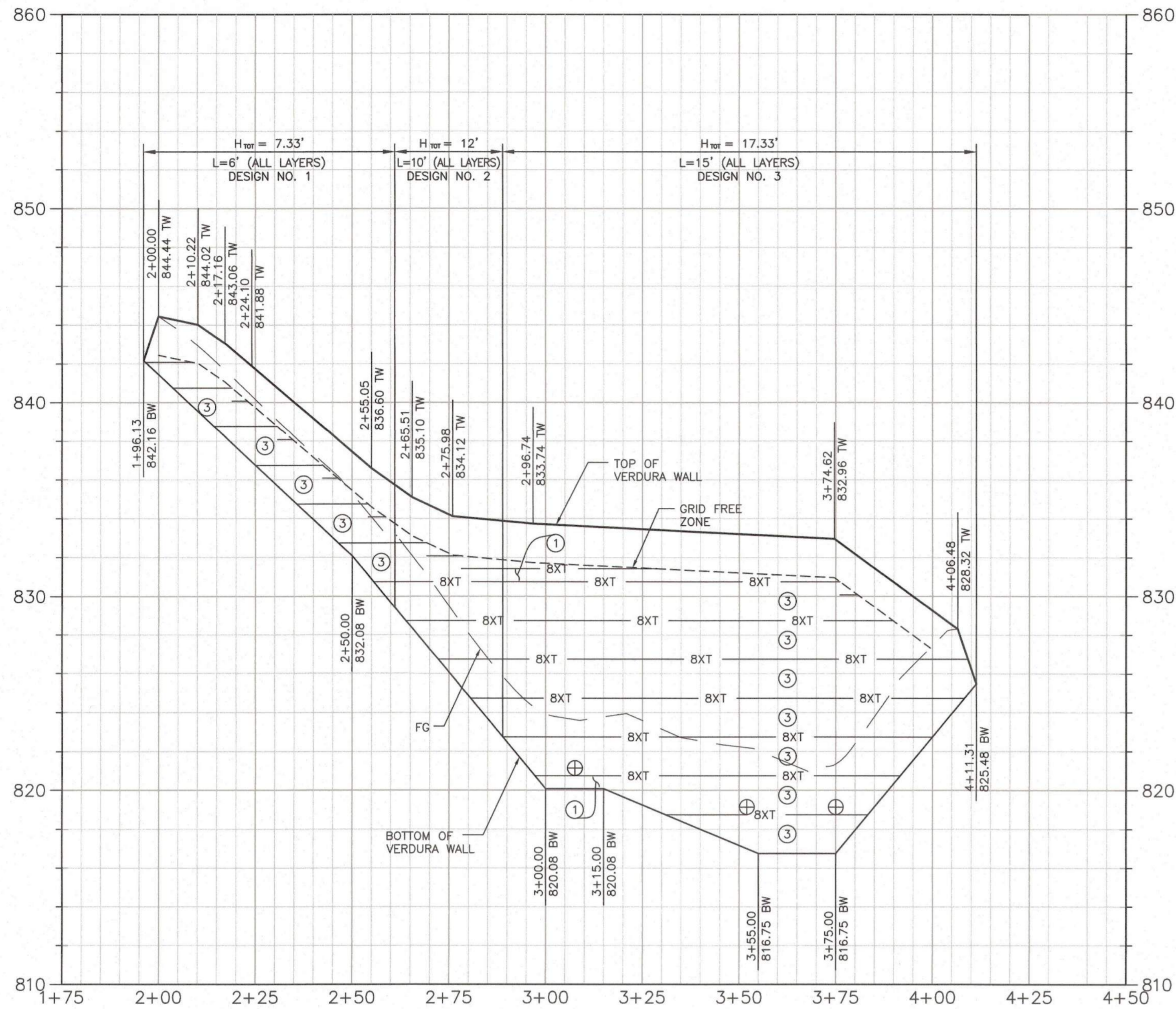
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CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING  
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 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

The City of  
**SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT







**PROFILE: VERDURA RETAINING WALL NO. 1**  
SCALE: HORZ. 1"=20', VERT. 1"=4'

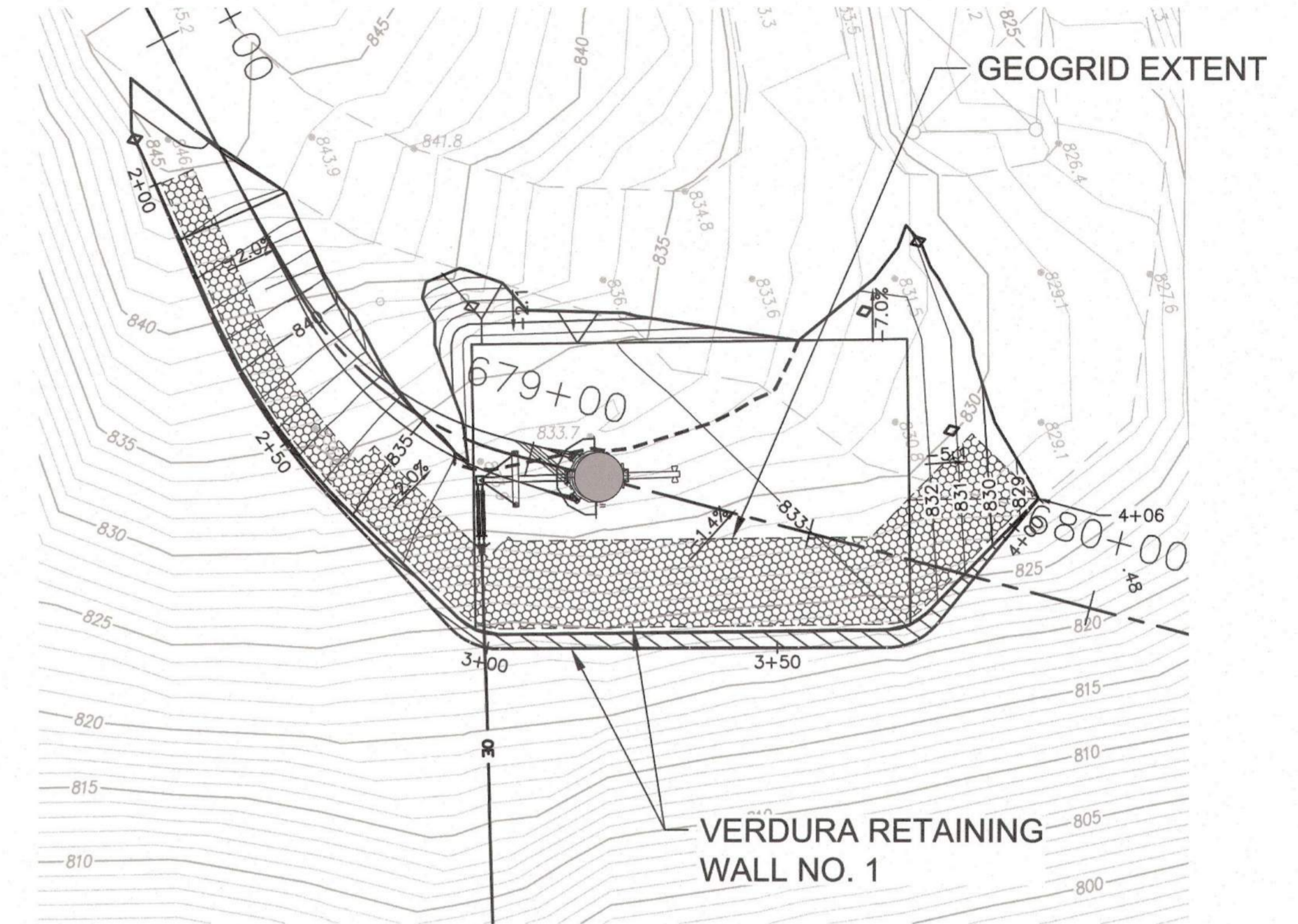
**PROFILE LEGEND**

- FG FINISH GRADE
- TW TOP OF WALL
- BW BOTTOM OF MSE STRUCTURE
- #XT- DENOTES TYPE OF MIRAGRID REINFORCING REQ'D
- ①- DENOTES THE NO OF BLOCKS BETWEEN THE MIRAGRID LAYER
- L LENGTH OF GEOSYNTHETIC REINFORCING (FEET)
- ⊕ APPROXIMATE SUBDRAIN OUTLET LOCATION. TO BE DETERMINED IN THE FIELD.

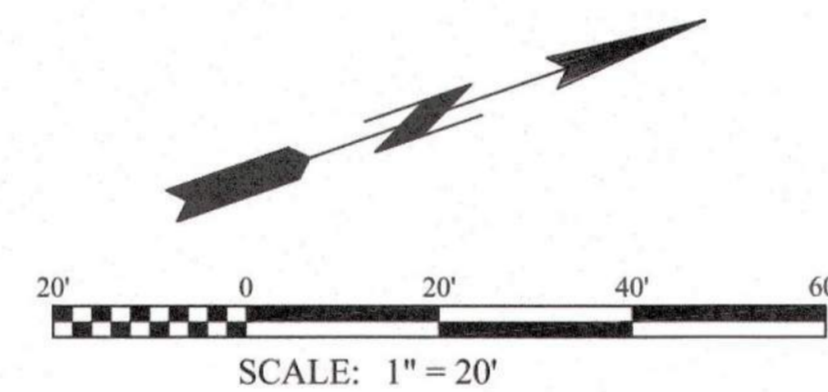
**GEOGRID NOTE:**  
1. GEOGRID LENGTH MEASURED FROM BLOCK CONNECTION.

**PLAN LEGEND**

- VERDURA SEGMENTAL WALL SHOWN WITH BATTER
- UPPER GEOGRID EXTENT



**PLAN: VERDURA RETAINING WALL NO. 1**  
SCALE: 1"=20'

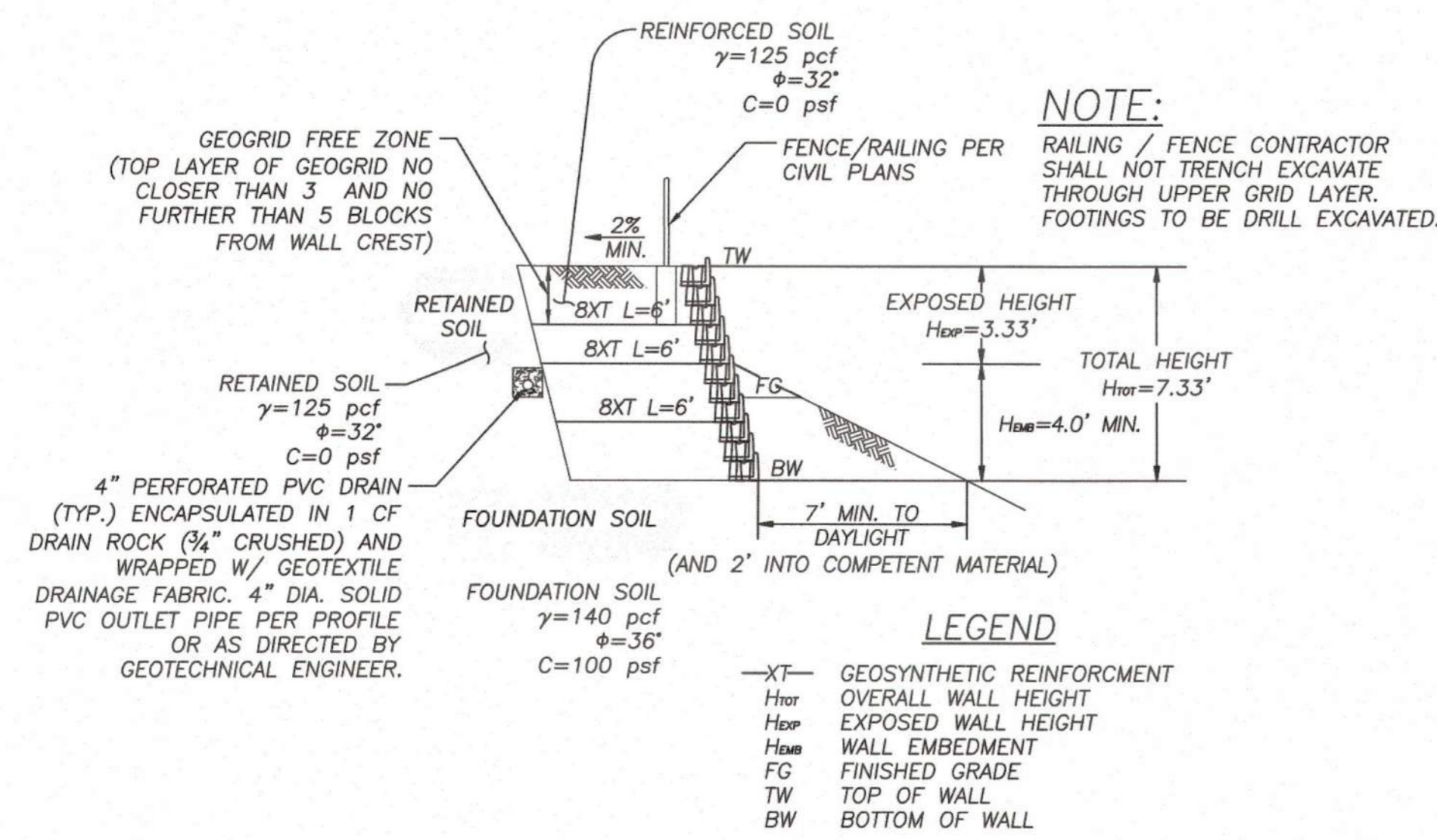


RETAINING WALL PLAN FOR: <b>SYCAMORE CANYON SUB TO PENASQUITOS SUB</b>				I.O. NO. _____	
CP5 MSE WALL				PROJECT NO. _____	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 7 SHEETS				V.T.M. _____	
FOR CITY ENGINEER		DATE			
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	XXX				
AS-BUILTS					
CONTRACTOR		DATE STARTED		SXPQ-WALL-005	
INSPECTOR		DATE COMPLETED			

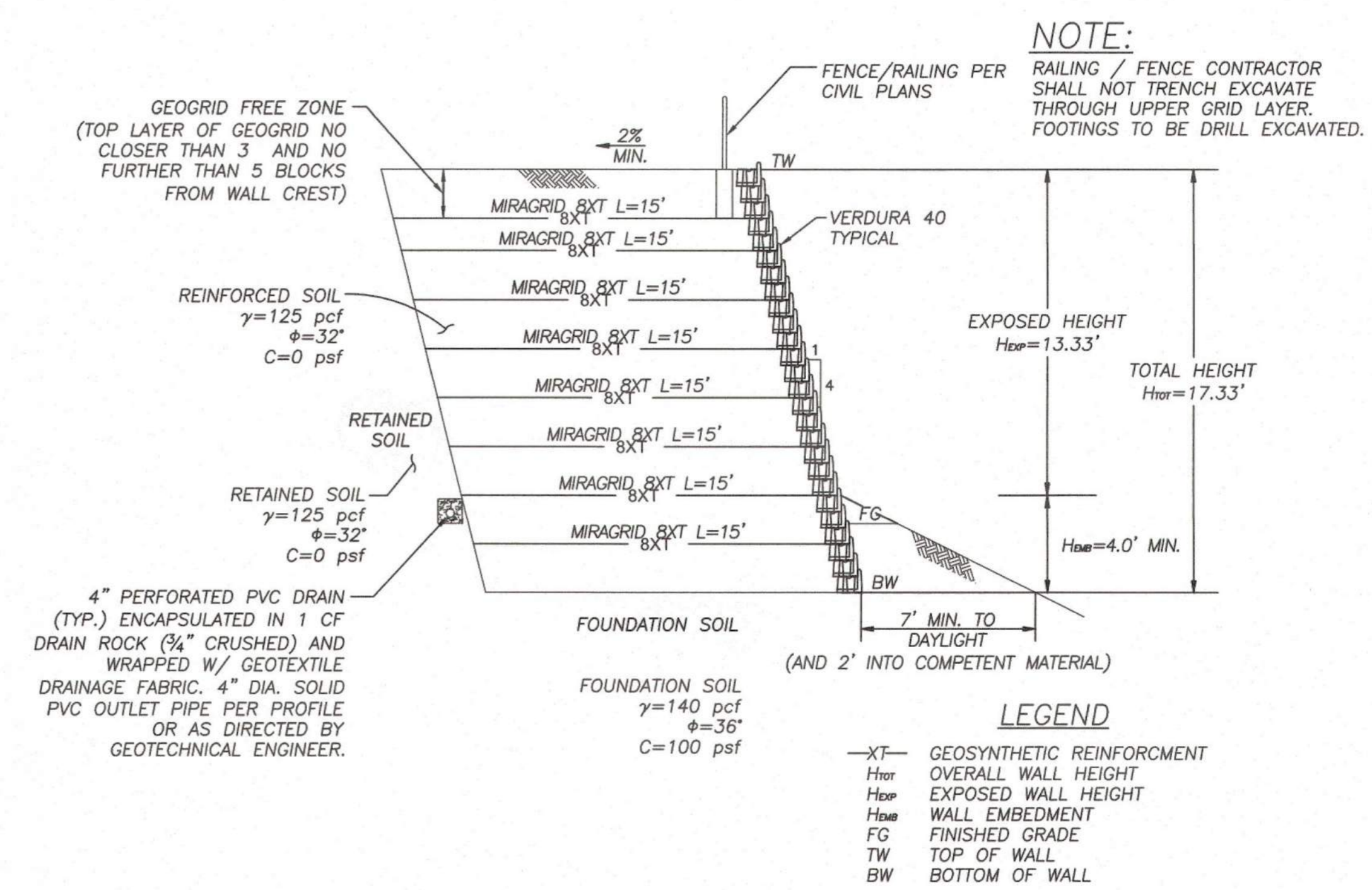
CONSTRUCTION CHANGE TABLE				
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

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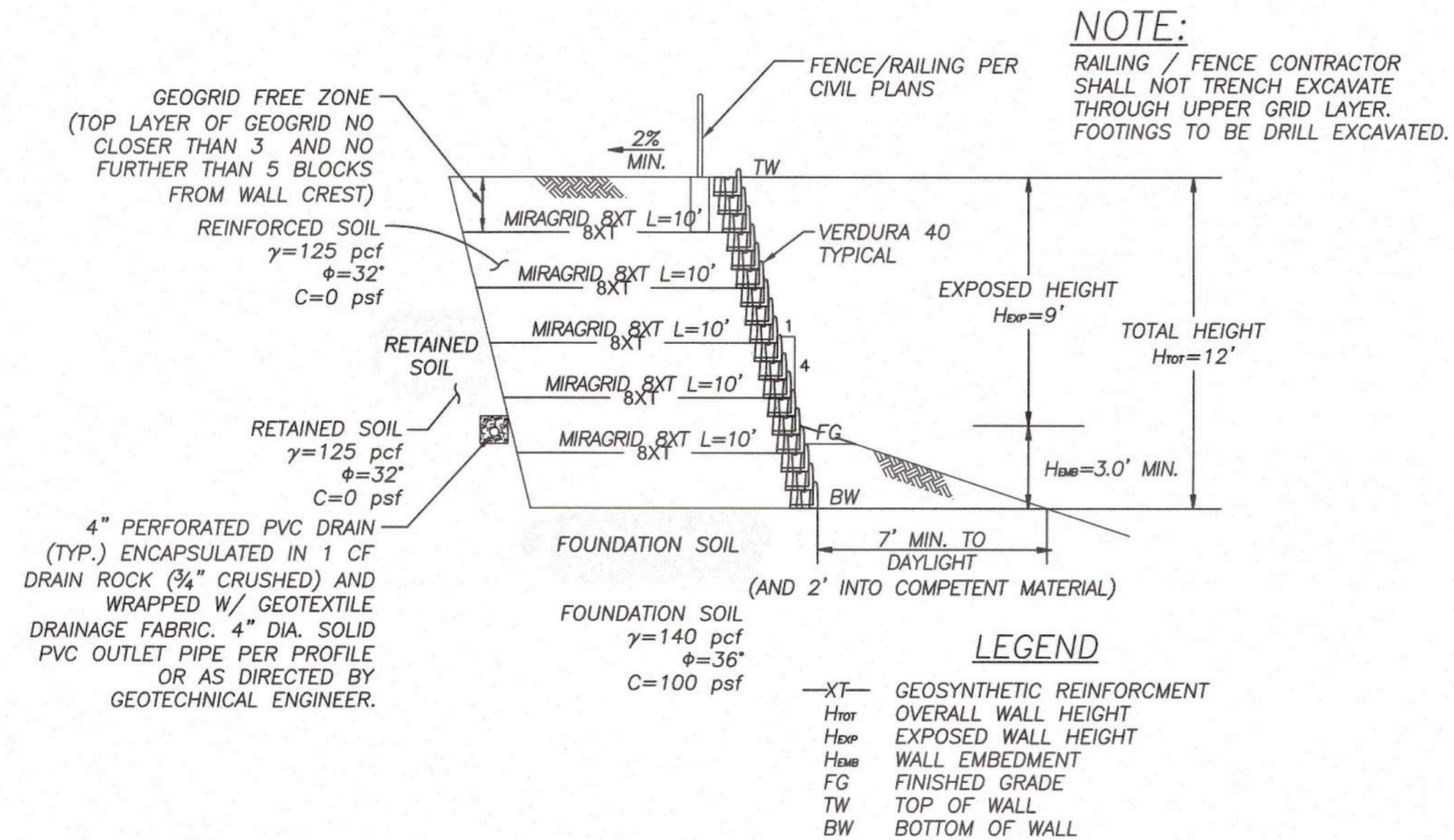
The City of  
**SAN DIEGO**  
DEVELOPMENT SERVICES DEPARTMENT



**CROSS SECTION: MAX. WALL HEIGHT = 7.33'**  
 DESIGN NO. 1  
 SCALE: 1"=5'



**CROSS SECTION: MAX. WALL HEIGHT = 17.33'**  
 DESIGN NO. 3  
 SCALE: 1"=5'

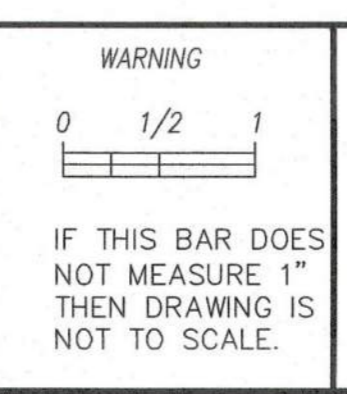


**CROSS SECTION: MAX. WALL HEIGHT = 12'**  
 DESIGN NO. 2  
 SCALE: 1"=5'

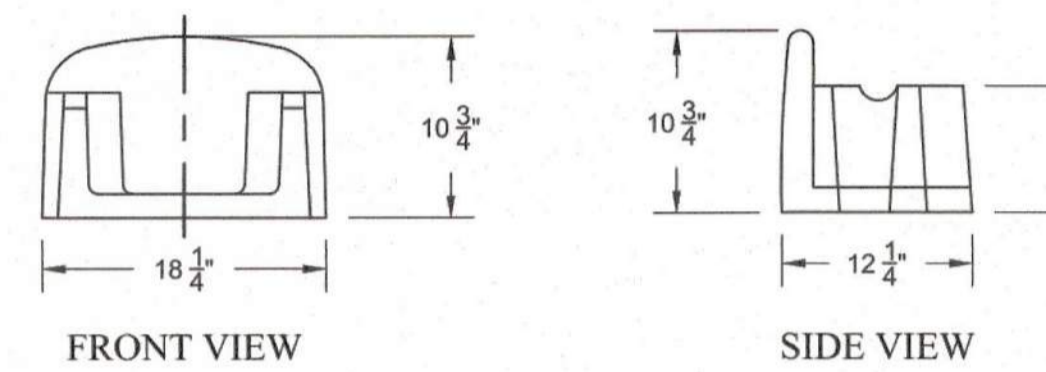
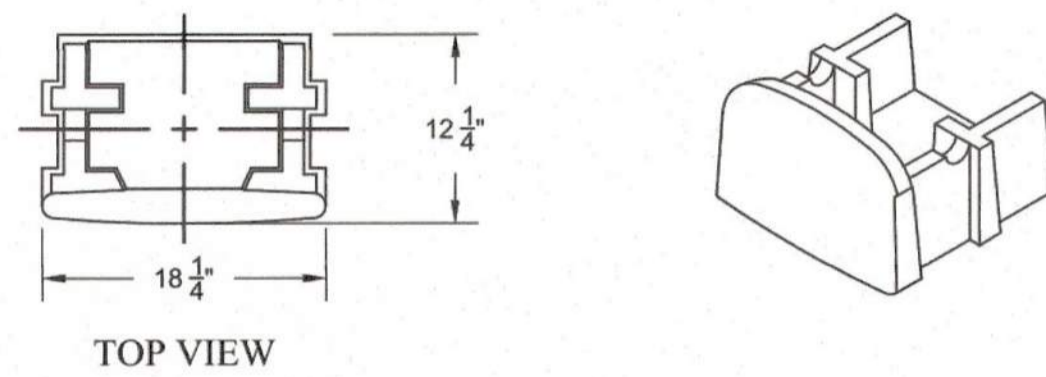
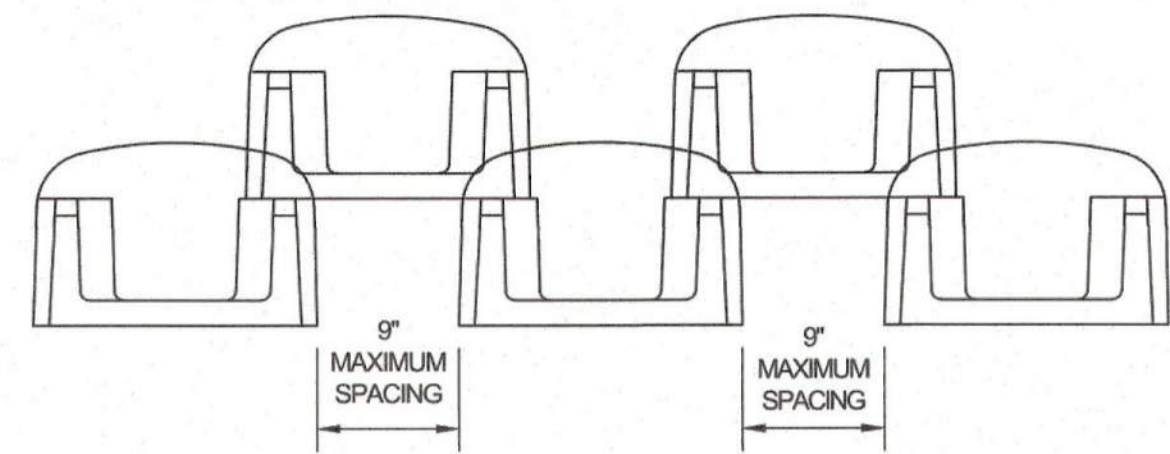


RETAINING WALL PLAN FOR:			
<b>SYCAMORE CANYON SUB TO PENASQUITOS SUB</b>			
CP5 MSE WALL			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 7 SHEETS			I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	XXX		
AS-BUILTS			V.T.M. _____
CONTRACTOR	DATE STARTED		<b>SXPQ-WALL-006</b>
INSPECTOR	DATE COMPLETED		

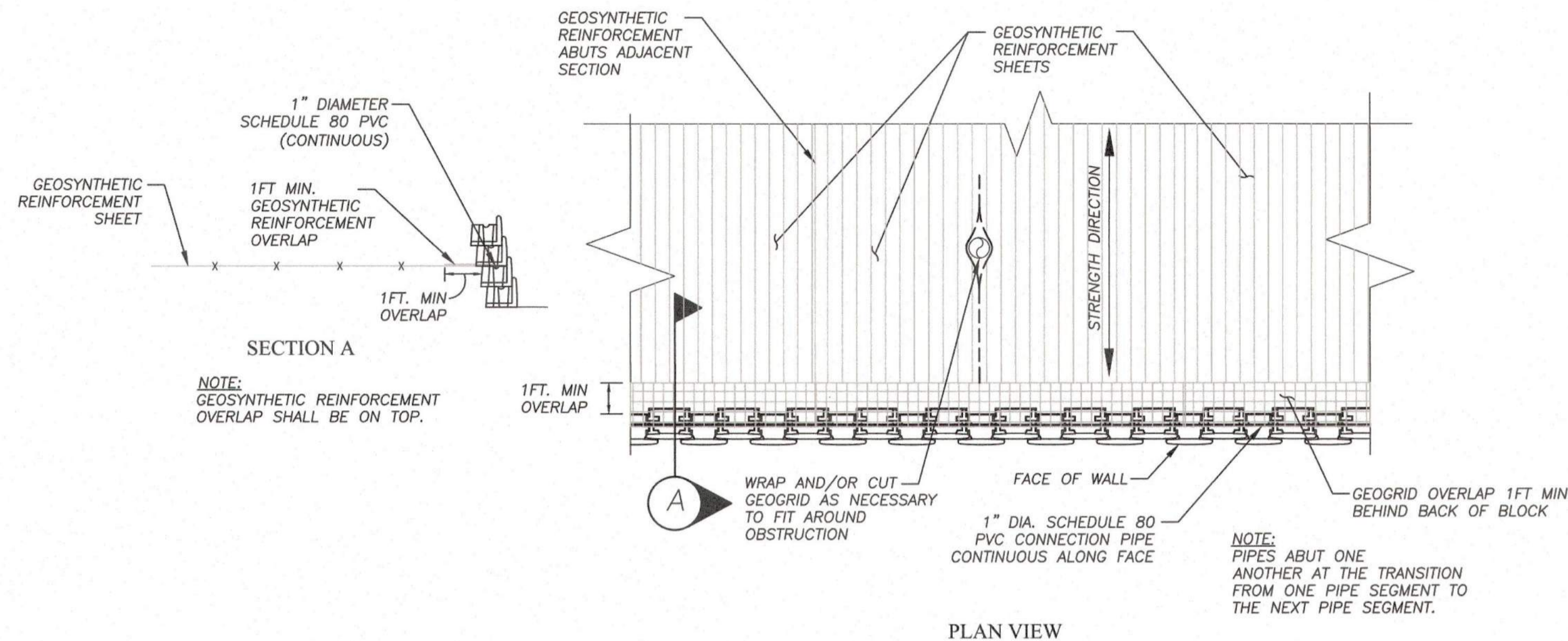
CONSTRUCTION CHANGE TABLE				
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.



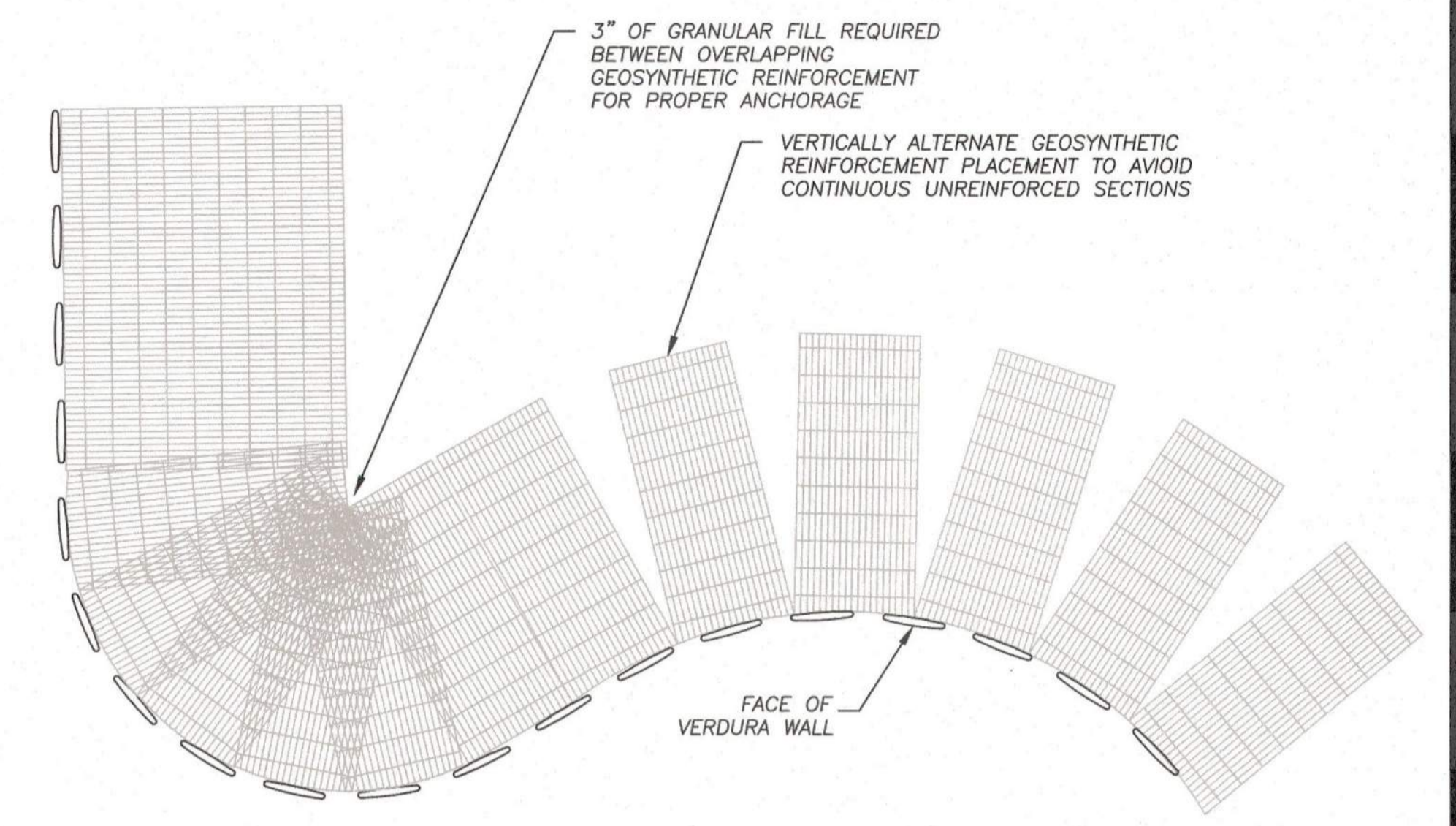
The City of  
**SAN DIEGO**  
 DEVELOPMENT SERVICES DEPARTMENT



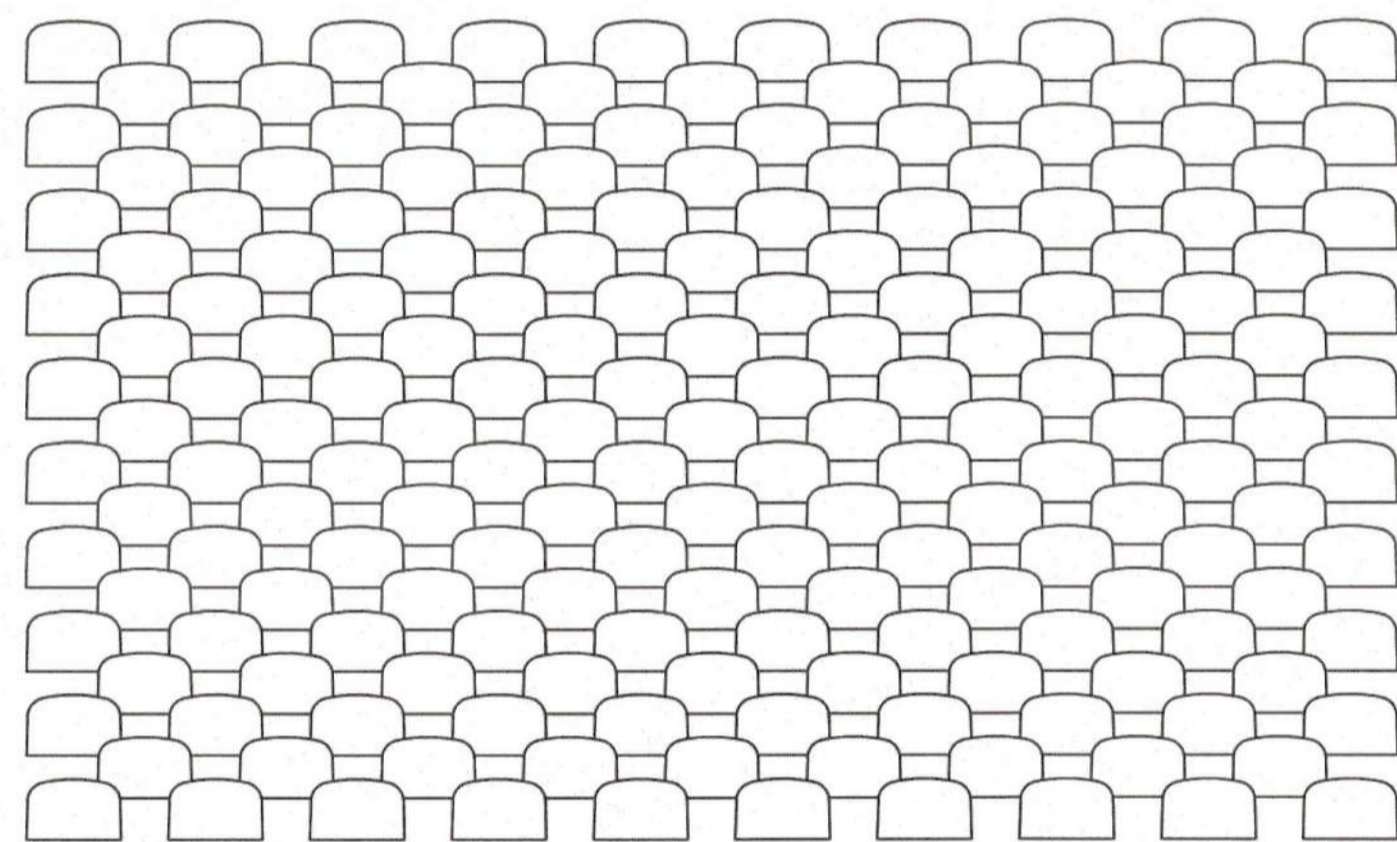
**VERDURA 40 BLOCK DETAIL**



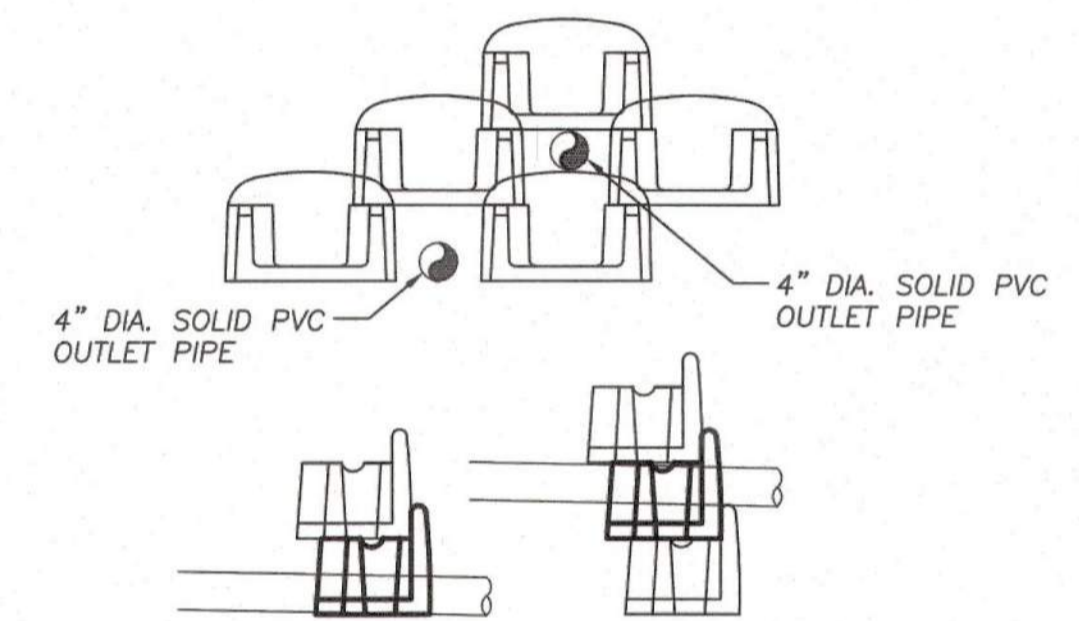
**GEOGRID CONNECTION DETAIL**



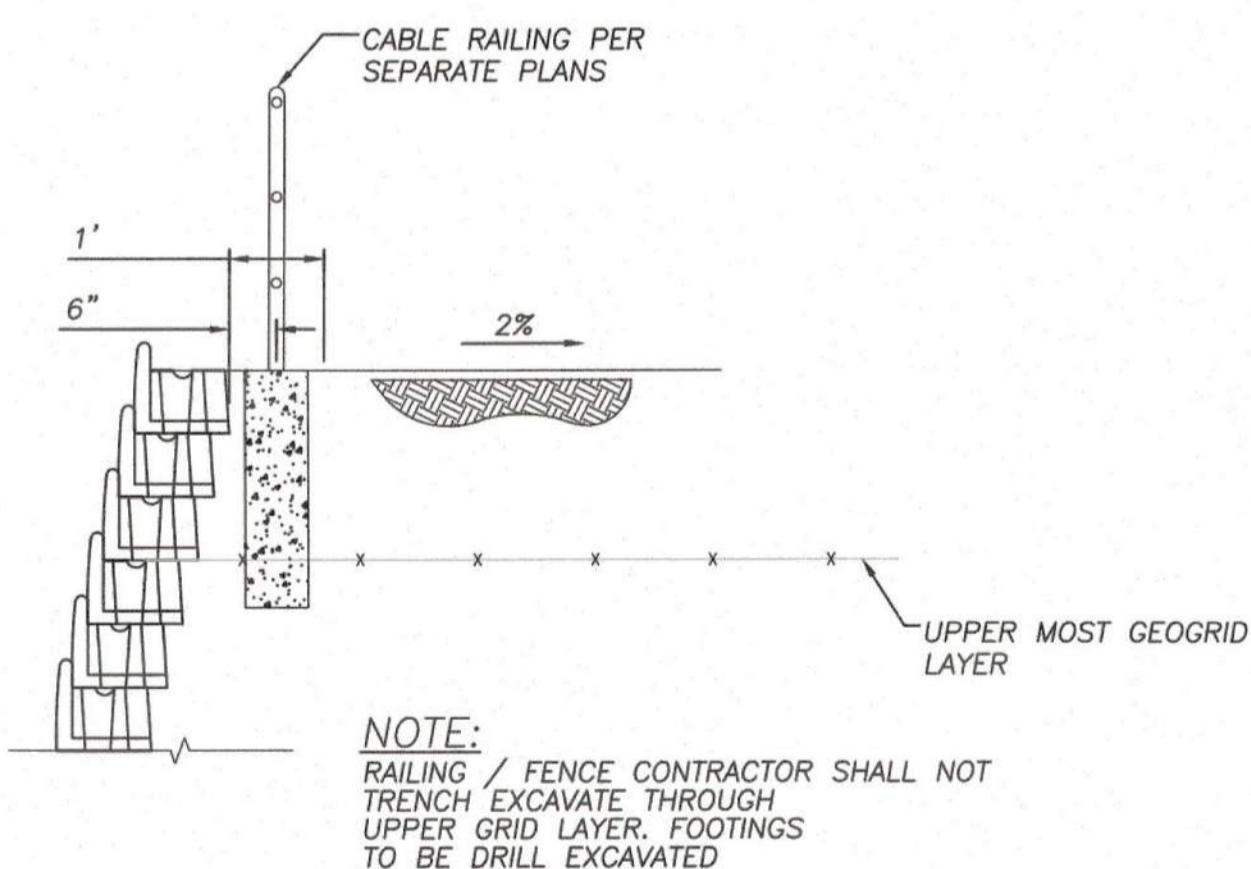
**GEOGRID PLACEMENT ON CURVES DETAIL**



**FRONT OF WALL DETAIL**

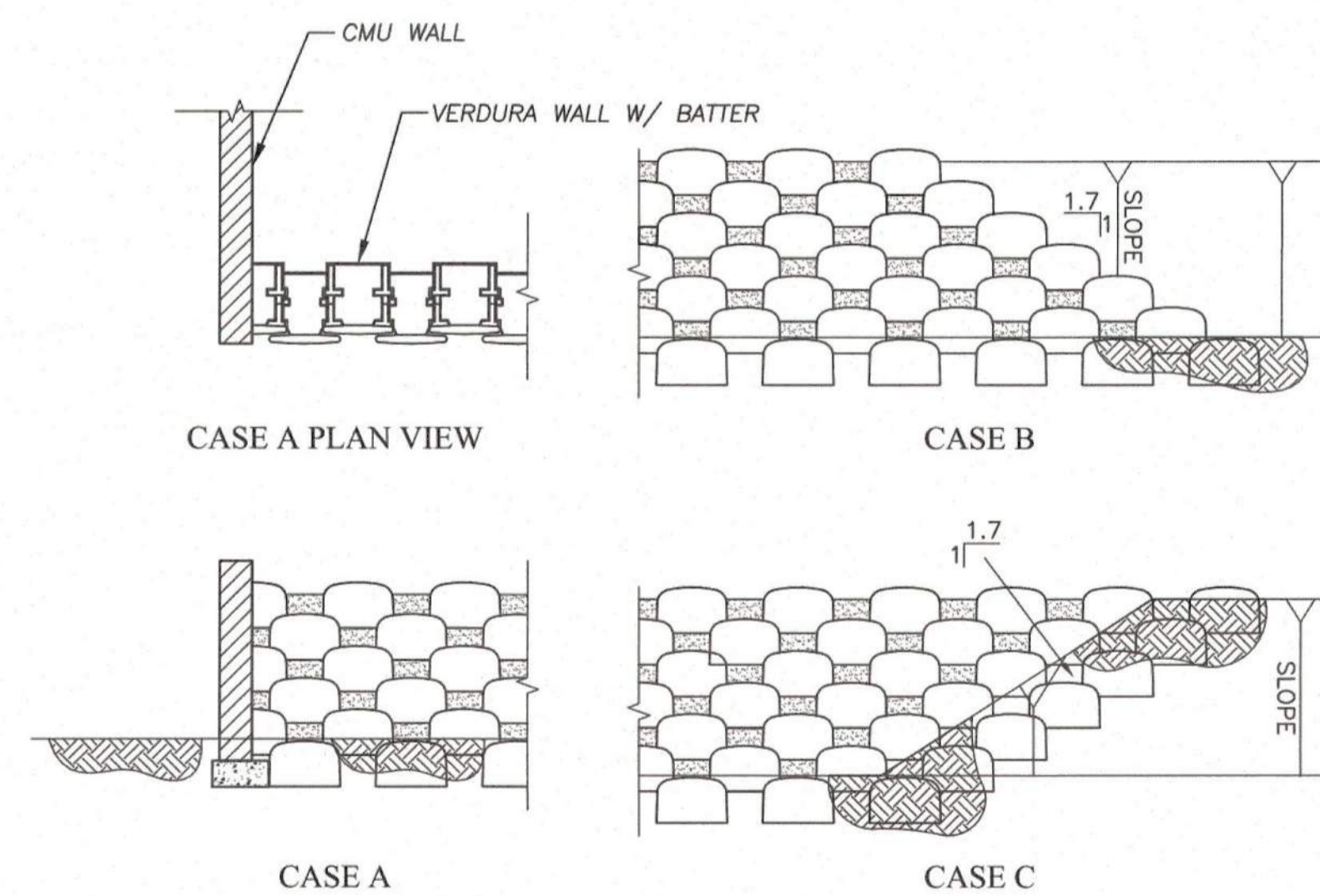


**SUBDRAIN PENETRATION DETAIL**

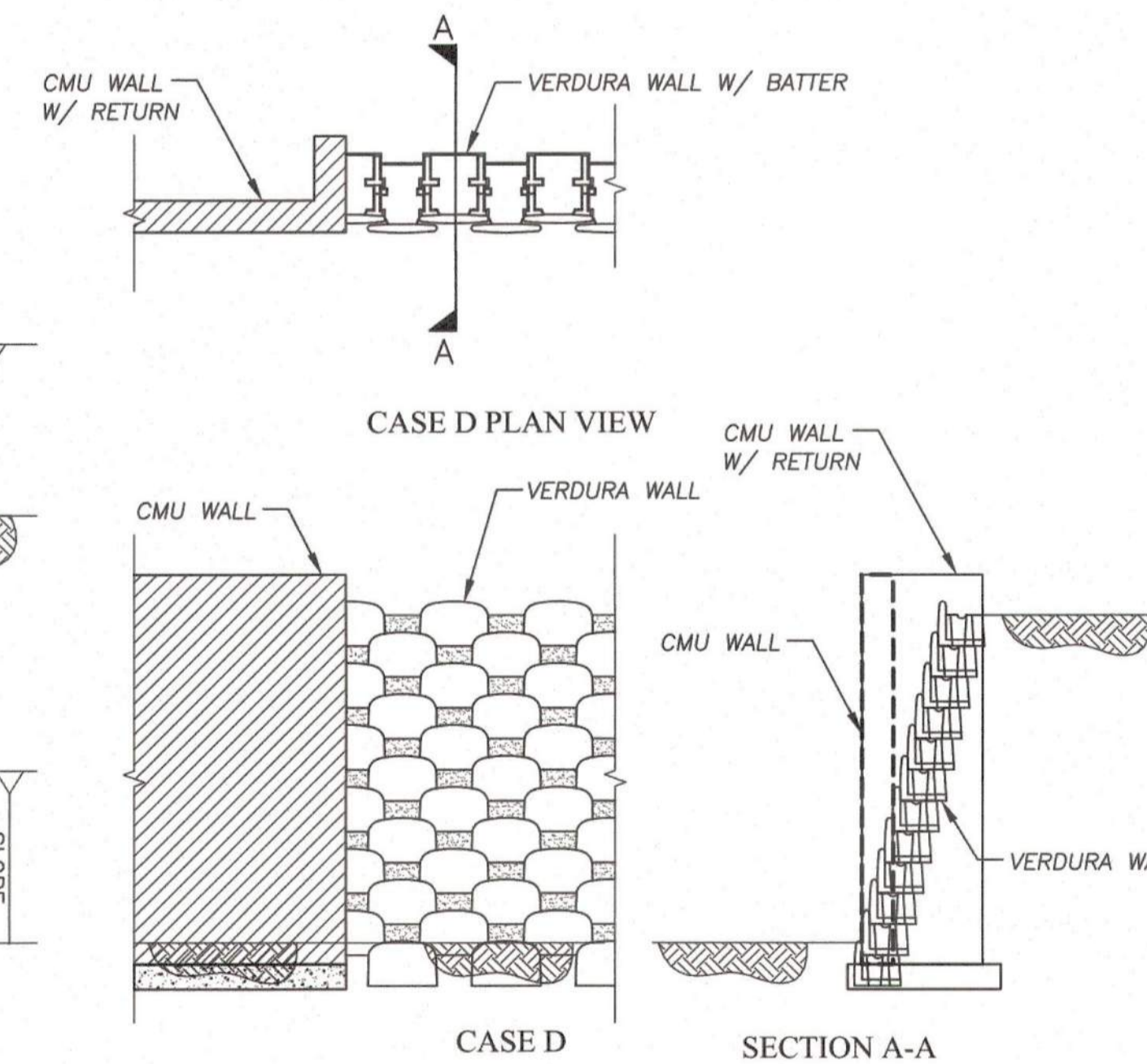


**TYPICAL CABLE RAILING DETAIL**

**TOP OF WALL DETAIL**



**END OF WALL TRANSITION DETAIL**

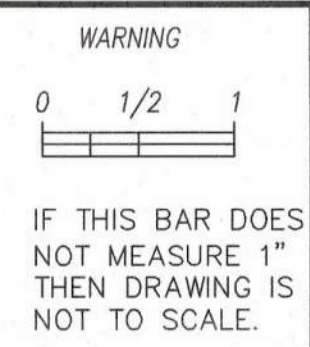


**CASE D PLAN VIEW**

**SECTION A-A**

**CONSTRUCTION CHANGE TABLE**

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.



WARNING  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

The City of  
**SAN DIEGO**  
DEVELOPMENT SERVICES DEPARTMENT



RETAINING WALL PLAN FOR:  
**SYCAMORE CANYON SUB TO PENASQUITOS SUB**

**CP5 MSE WALL**

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 7 OF 7 SHEETS

I.O. NO. \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

V.T.M. \_\_\_\_\_

FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
AS-BUILTS			
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	

**SXPQ-WALL-007**